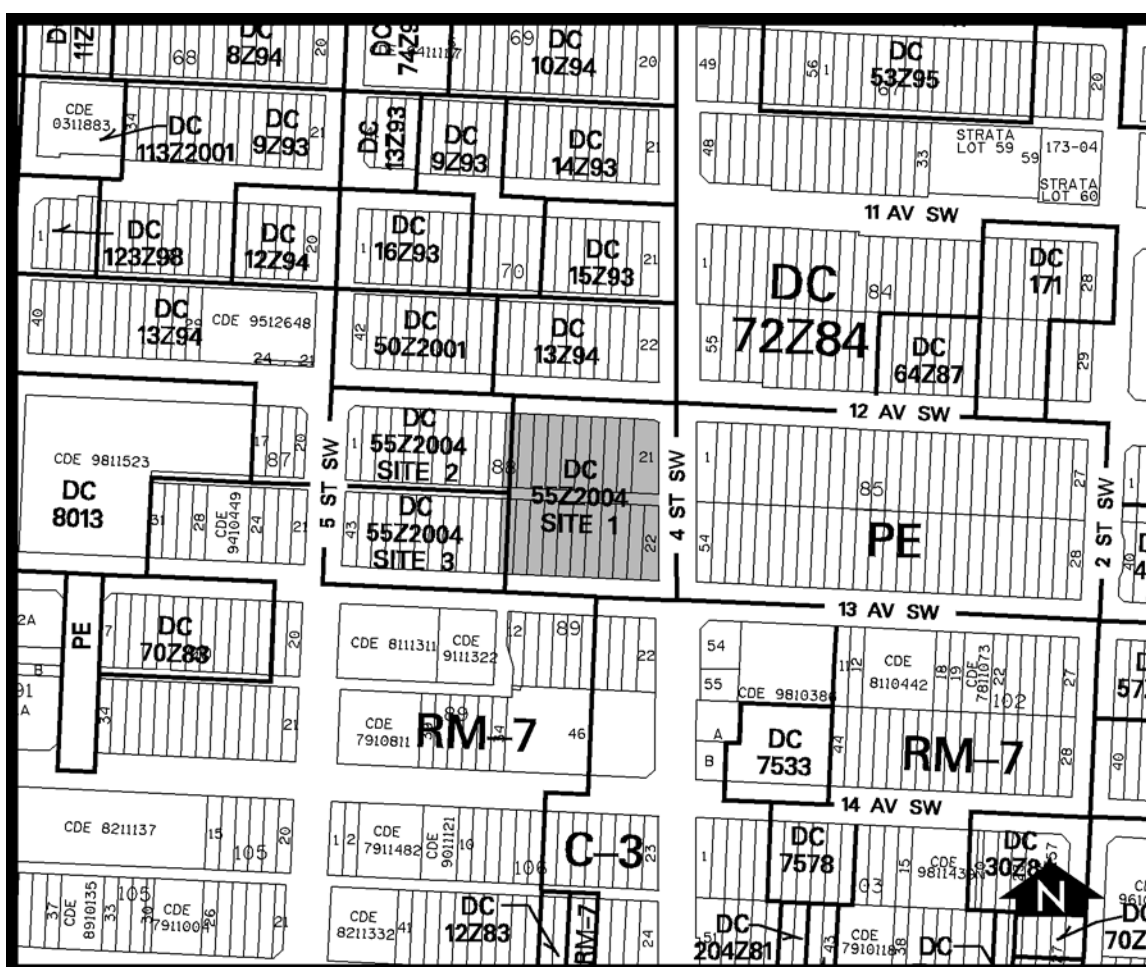


REPORT TO THE CALGARY PLANNING COMMISSION

DEVELOPMENT PERMIT	ITEM NO: 4	
	CPC DATE:	2005 June 30
	DP NO:	DP2005-0570

BELTLINE
(Ward 8 - Alderman King)



PROPOSAL: Office Building (medical clinics, restaurant-food service only and outdoor café)
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APPLICANT: Gibbs Gage Architects	OWNER: Calgary Health Region
MUNICIPAL ADDRESS: A portion of 1213 4 Street SW	LEGAL DESCRIPTION: Plan A1; Block 88; Lots 12-32 (Map 16C)
EXISTING LAND USE DISTRICT(S): Direct Control Bylaw 55Z2004	
AREA OF SITE: 0.69 ha ± (1.71 ac ±)	
CURRENT DEVELOPMENT: Colonel Belcher Hospital	

ADJACENT DEVELOPMENT:
NORTH: Direct Control (13Z94) – office and retail;
SOUTH: C-3 General Commercial District & RM-7 Residential High Density Multi-Dwelling District – First Baptist Church;
EAST: PE Public Park, School and Recreation District - Central Memorial Park; and
WEST: Direct Control (55Z2004, Sites 2 & 3)– remainder of Colonel Belcher Hospital

SITE CHARACTERISTICS: flat topography.

DEVELOPMENT SUMMARY			
RULE	BYLAW STANDARD	PROPOSED	RELAXATION
DIRECT CONTROL GUIDELINE(S)	DC Bylaw 55Z2004		
DENSITY	Base Floor Area Ratio of 5.0. Mechanical rooms are not included in FAR calculation	4.0 FAR	None.
HEIGHT	A maximum of 25 storeys	9 storeys	None.
YARDS (BUILDING SETBACK)	None required for non-residential development	East – 2.2 metres North – 0.2 metres South – 0.6 metres	None.

DEVELOPMENT SUMMARY			
RULE	BYLAW STANDARD	PROPOSED	RELAXATION
PARKING	<p>(ii) One stall per 93 m² of net floor area except that medical clinics provide up to 1 stall per 25 m² of gross floor area up to a maximum of 600 stalls.</p> <p>(iii) A minimum of 20 percent of non-required parking stalls shall be allocated to short term public parking.</p>	<p>(ii) 493 stalls.</p> <p>(iii) 99 stalls identified for short term parking.</p>	<p>(ii) 107 stall variance. Parking study accepted; proposed number of parking stalls will meet parking demand.</p> <p>(iii) None.</p>
LANDSCAPING	<p>(i) All yards where not used for vehicle circulation or parking.</p> <p>(ii) All on-site horizontal surfaces greater than 5.6 square metres in area that are overviewed by residential units and not required for parking or access.</p> <p>(iii) All City boulevards</p>	Complies.	None.
SITE DESIGN	<p>(i) Development on Site 1 shall respect views of the steeple on First Baptist Church, when viewed from the north along 4 Street SW</p>	Complies	None
	<p>(ii) The design and orientation of a building on Site 1 shall provide a suitable interface with Central Memorial Park to the east particularly with respect to the east/west axis to the park.</p>	Complies	None

DEVELOPMENT SUMMARY			
RULE	BYLAW STANDARD	PROPOSED	RELAXATION
	(iii) The development shall recognize and commemorate the historical significance and elements of the Belcher site.	A number of elements to be incorporated into interpretative cairns	Prior to Release Condition requesting additional information on specific historic elements
	(iv) Where possible, non-residential uses at grade shall be incorporated along 12 Avenue, 4 Street and the commercial corner of 5 Street and 12 Avenue SW.	A commercial use with transparent windows and entries is identified at corner of 4 Street and 12 Avenue SW. Active uses proposed along 4 Street SW (commercial use, entry, restaurant).	Due to nature of main floor urgent care medical clinic, active uses and/or window transparency is not feasible on 12 Avenue frontage. Display windows are proposed as an alternative.
EXTERIOR FINISH MATERIALS Walls: <p>Ground Level at podium - Tyndal Stone, integrally coloured aluminum composite panel surrounds at display windows, vision glass, back painted glass spandrels, clear anodized aluminum window and storefront framing, laminated glass canopies on painted steel supporting structure.</p> <p>Second floor - White back painted glass spandrels, tinted vision glazing, clear anodized aluminum curtain wall framing with extended horizontal mullion caps.</p> <p>Tower - White, blue and green back painted glass spandrels, tinted vision glazing, clear anodized aluminum curtain wall framing with varying depths of extended horizontal mullion caps.</p> <p>Penthouse: Off white prefinished metal cladding in various profiles</p> <p>Roof: Modified bituminous roofing</p> <p>Windows: Ground floor windows are clear glazing or back painted spandrel glass. Upper floors vary from lightly tinted to lightly reflective as optimized for energy performance. Tinted glass colours are white, blues and greens.</p>			

SUMMARY OF CIRCULATION REFEREES	
CORPORATE PLANNING APPLICATIONS GROUP	See Conditions of Approval below
CPTED ASSESSMENT Crime Prevention Through Environmental Design	Comments received. Main concern is increased traffic and noise from emergency vehicles. Suggestions include parking control, security in parkade and police officer on-site to deal with the often-violent nature of downtown injuries. Trees to be clear up to 1.8 metres and fencing around proposed outdoor café.
ENVIRONMENTAL MANAGEMENT	Environmental reports were required and accepted with the Land Use Application, LOC2004-0009
URBAN DESIGN REVIEW COMMITTEE	See Comments in Appendix IIII
SPECIAL REFEREE(S) (4 th Street BRZ)	No Comments received.
COMMUNITY ASSOCIATION (Beltline)	See Comments in Appendix II

PLANNING EVALUATION

Introduction

This application is for a new 8 storey office building in the Beltline Community. The subject site is the eastern portion of the existing Colonel Belcher Hospital site on 4 Street SW, between 12 and 13 Avenues. The site is owned and operated by Calgary Health Region. The purpose of the building is to provide medical services at a central location for the inner city communities including an urgent care program, the relocation of the 8th and 8th medical clinic and other non-acute clinical services. A summary of the proposed development submitted by the applicant is in Appendix IV.

Land Use District

Direct Control District 55Z2004 Site 1, approved by Council on July 28, 2004, guides the proposed development. The main points of the land use district are outlined in the Development Summary above. Other than the proposed number of parking stalls, the proposed development conforms to the guidelines of the Direct Control District.

Legislation & Policy

The site is affected by policies of the Connaught-West Victoria Park Area Redevelopment Plan (ARP) and the non-statutory Blueprint for the Beltline. A draft Beltline ARP that is intended to implement the vision of the Blueprint and to replace the existing policies in the Beltline, is expected to go forward to Calgary Planning Commission in 2005.

The Connaught-West Victoria ARP, approved July 25, 1983 and subsequently updated, identifies 4 Street SW as a major entrance way to the downtown core for both pedestrians and vehicles. Policy encourages a wide range of goods and services within a high density, high rise building.

The proposed development is in keeping with the direction of the draft Beltline ARP, specifically the design objectives of the Central Memorial Park/Haultain Park Character Area. Applicable draft design objectives for the Character Area include:

- preserve natural sunlight on Central Memorial Park
- New development and building form shall be sensitive to the interface of Central Memorial Park
- Employ an 'eyes on the park' philosophy by providing residential and at-grade commercial uses as the main land uses surrounding the park
- Preserve and complement the vistas/views to the First Baptist Church

Another important aspect of the draft Beltline ARP is the Public Realm where new building forms should fit harmoniously into their context and respect and improve the existing streetscape environment. It is CPAG's opinion that the streetscape level has been upgraded significantly from the original submission and will contribute to an improved public realm. Although the tower component has been revised slightly with the addition of recessed corners to provide vertical articulation on the east and west elevations and a change in spandrel glass colour, CPAG is of the opinion that further improvements could be made to the tower design such that the overall building responds better to the draft ARP objective for new development to "fit harmoniously into their local context and respect and improve the existing streetscape environment".

Site Context

The site is a corner site at 12 Avenue SW, 4 Street SW and 13 Avenue SW, located directly west of Central Memorial Park and north of First Baptist Church. The Direct Control District identified specific Site Design issues as the site relates to the church and the park.

Firstly, the development is to respect the views to the steeple of First Baptist Church when viewed from the north along 4 Street SW. This has been achieved in the proposal by stepping back the front façade along 4 Street SW so as to protect the view to the steeple. The applicant has provided renderings that show the steeple is visible from 4 Street SW.

A second Site Design guideline asks for the design and orientation of the easterly façade of the building on Site 1 to provide a suitable interface with Central Memorial Park to the east, particularly with respect to the east/west axis of the park. The proposed development has addressed this guideline by aligning the main and rear entrances with the main axis of the park and by locating the lobbies of the tower floors on the same axis. Each lobby has clear glass windows that provide opportunities for overlooking the park from within the proposed building.

A shadow study was requested for November 11th at 11:00 AM given the importance of Central Memorial Park on Remembrance Day. The shadow studies submitted indicate that the proposed building will not shadow Memorial Park at this time.

Site Layout & Building Design

The proposed development is for a 27,070 square metre commercial building with a two storey podium including restaurant, outdoor café, commercial use and medical clinic on the main floor and medical clinic(s) on the second floor. The 6 storey tower is for additional medical clinic uses. The proposed development permit drawings are found in Appendix I.

The eastern portion of the Colonel Belcher Hospital will be demolished to make room for the proposed development. Services located in this wing of the hospital will temporarily relocate to the western wings of the Colonel Belcher. Upon completion of the new building, these services will relocate into the new building as well as the additional services previously mentioned. As a Prior to Release Condition of the development permit, the applicant shall provide drawings illustrating an appropriate interface between the remainder of the Colonel Belcher Hospital and the new development.

The two-storey podium is set back between 2.2 metres and 9.8 metres from the 4 Street SW property line to accommodate the requirement of respecting a view to the steeple of First Baptist Church. The podium is set back 0.2 metres from the north property line and 0.6 metres from the south property line.

Due to the nature of the medical clinic proposed for the first floor and need for privacy, display windows are proposed in lieu of transparent glazing or a blank façade. The display windows present an interesting opportunity to showcase information from a number of anticipated users including Calgary Health Region, community groups (i.e. Beltline Community Association, 4th Street BRZ), local businesses, local artists/artists groups or display of historic items/resources from the site or local area. Other ideas include public art in the form of murals, which could be commissioned and semi-permanently mounted within the display window frame.

The addition of steel and glass canopies, archways articulating the windows and main entrance and introduction of different materials and colours (tyndall stone columns, blue archways over windows) contribute to a more visually interesting streetscape for the pedestrian.

The tower floorplates are approximately 2,787 square metres in size and are setback from the podium except for along the 4 Street SW frontage. The floor plate design is in response to CHR's programme needs. To achieve a flexible interior floor plate, the exterior walls were kept straight with consistent window sill and head height. As a result, the design of the tower, including the massing, proposed materials and colours, contribute to a generic glass box appearance with minor articulation that does little to respond to the local context.

Landscaping

The stepping back of the 4 Street SW façade provides an opportunity for a linear plaza in front of the proposed building. A mixture of dark, light and medium charcoal coloured concrete creates a public plaza in front of the main entrance, extending south in front of the proposed outdoor café. The plaza is enhanced with tree plantings both on-site and within the City Boulevard. Boulevard trees are also proposed along 12 and 13 Avenues.

In response to a Site Design guideline in the land use district, a series of interpretative cairns recognizing and commemorating the historical significance of the Colonel Belcher Hospital are incorporated into the plaza at the corner of 4 Street and 13 Avenue SW. An inventory of historical items was created and these items are to be incorporated into the interpretative cairns at the southeast corner of the site. A storyboard will accompany each historical element and will be part of the cairn. The materials (tyndall stone, stone, wood and stainless steel) that make up the cairns will also be incorporated into a proposed bus shelter along 4 Street SW.

In addition to the interpretive cairns, two planters flanking the front entrance will hold tulip bulbs that, as the story is told, were brought back from Europe by veterans and planted on the grounds of the Colonel Belcher Hospital.

Site Access & Traffic

A proposed internal lane divides the subject site from the remainder of the Colonel Belcher site. The proposed lane is two-way and provides access to the urgent care entrance at the rear (west elevation) of the building. It also provides access to the ambulance bay for emergency vehicles and to the underground parkade.

With the land use application, a Traffic Impact Study supporting the proposed office building and medical clinic uses was submitted and approved by Transportation. Updates have been submitted with the development permit application and these have also been approved by Transportation.

Parking

The development provides a total of 493 parking stalls including 486 in the underground parkade and 7 at-grade in the proposed lane. This is a variance from the Direct Control District however, a parking rationale was submitted and the number of stalls within the proposed parkade will meet the parking demand. CPAG has no objections to the proposed variance.

In accordance with the Direct Control District, 20 percent of the parking stalls within the parkade (99 stalls) are identified as short-term parking, available for public use. These stalls are located in P1 level of the parkade. A Prior to Release Condition of the development permit requires the applicant to submit operating protocols on the short term parking stalls.

Site Servicing for Utilities

Servicing to the site is available however, the applicant is responsible for the cost of any required upgrading of works (i.e. watermain upgrading).

Environmental Site Assessment

An Environmental Site Assessment (ESA) was required and approved with the land use application, LOC2004-0009.

Community Association Comments

The Beltline Community Association supports the proposed development as outlined in Appendix II and comments positively on the design and material choices.

Their letter does identify a number of 'missed opportunities' including material choice for roof of podium, design of existing bus stop, type of tree planter, size of mechanical penthouse, and notch at northeast corner. In response to these comments, the applicant has proposed a transit shelter; consistent in design with the proposed interpretive cairns. As a prior to release condition, CPAG is requesting all trees be planted in trenches rather than the oversized boxes the applicant is proposing. The mechanical penthouse has been redesigned since the original submission and height was reduced where possible (note significant mechanical equipment is required for proposed medical clinic/health facility use). The notch at the northeast corner is required for visibility but has been redesigned so as to provide an entrance into the commercial space at the corner of 4th Street and 12 Avenue SW.

Urban Design Review Panel

The application was presented to the Urban Design Review Panel on March 23 and April 6, 2005. Comments from the Panel (See Appendix III) have been addressed through amended plans as noted below:

- Better definition of main entry with addition of a two-storey aluminum composite panel entry archway. Within the archway is a steel and glass canopy over the main entry doors.
- Redesign of at-grade level at 4 Street and 12 Avenue such that 'display windows' were replaced with transparent glass and entries. As such any use located within the northeast corner of the site shall be required to 'front' 4 Street SW with active and/or public uses.
- There were originally three mechanical louvers proposed along 13 Avenue. These have been reduced to one and two display windows/boxes were substituted (behind this area is loading).
- Interpretive cairns were redesigned to a more contemporary look rather than attempting to mimic features from the adjacent church.
- Additional articulation has been added to the streetscape level including addition of transparent glazing and entry doors, reduced size of display windows/boxes that provide for more flexibility including potential doors and/or transparent glass adjacent to the display windows, better articulation of display windows/boxes with blue-coloured archways similar to that proposed over the main entrance and addition of tyndall stone veneer on columns.

The Panel did comment that the design was a missed opportunity in response to Central Memorial Park. Although the overall design has not changed significantly, CPAG is of the opinion that the design revisions at the street level have improved the overall building's design and response to the local context such that CPAG supports the proposal. Acknowledging CHR's programming needs the applicant is unable to make significant design changes to the tower that would satisfy CPAG's desire for a tower that fits more harmoniously with the local context and streetscape.

Adjacent Neighbour Comments

None received.

CONCLUSION:

The proposal is supported for the following reasons:

1. The proposal is consistent with the vision and objectives expressed in the Blueprint for the Beltline, the draft ARP Character Area objectives and is consistent with the Connaught-West Victoria Area Redevelopment Plan.
2. The proposal is compatible with surrounding development. The design respects the views to First Baptist Church steeple and provides a suitable interface at the streetscape level with the Central Memorial Park.
3. The proposed development will provide a modern medical facility with urgent care and medical clinic services that will serve the growing Beltline and Downtown communities.

CORPORATE PLANNING APPLICATIONS GROUP RECOMMENDATION: APPROVAL

The Corporate Planning Applications Group recommends APPROVAL with the following conditions:

A. Prior to Release Requirements

The following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Development Authority.

Engineering:

1. The applicant must provide a remedial action plan (RAP), to be implemented during construction, that outlines the decommissioning of the onsite underground storage tanks (as described in the report entitled, "Limited Level Two Environmental Site Assessment and Regulated Substance Review, 1213 4th St SW", dated 2003-11-14 by Base Property Consultants Ltd. Any impacts should be appropriately delineated and representative confirmatory sampling (soil and groundwater) should be conducted to demonstrate the suitability of the site for the intended land use. All documentation shall be prepared by a qualified professional and will be reviewed to the satisfaction of The City of Calgary (Environmental Management). Additional environmental information may be required following the review.
2. Submit one (1) revised set of plans to the File Manager to address the requirements of the Business Unit(s) as listed below:

Calgary Roads

- a) Property lines dimensioned from the lip of gutter and the back of sidewalk.
- b) Bylawed setback and/or corner cut dimensioned from the ultimate/existing property lines.
- b) Removal of encroachments (island on the sidewalk adjacent to 12 Av SW) from within the City right-of-way.
- c) Driveways flared and dimensioned as per Calgary Roads Standard Specifications (curb returns, not permitted). Driveway flares must not encroach onto the boulevard of adjacent properties.
- d) Continuous sidewalk and curb and gutter across driveway crossings.
- e) Corner radii at 12 Avenue & 4 Street to be 7.5 meters
- f) Corner radii at 13 Avenue & 4 Street to be 12.5 meters
- g) Proposed parallel parking along 13 Avenue to be 2.25 meters in depth and minimum reverse curve radii of 6.0 meters. A new catch basin will be required in the layby. Curb alignment transition west of the proposed layby on 13 Avenue (across driveway of internal road) to be two 15 meter radii with a 5 meter tangent.

- h) Driveway flares to City standards for all driveways – no curb returns permitted
 - i) A pedestrian warning device (visual and audible) is recommended at ambulance exit driveway on 12 Avenue.
 - j) “Mortar jointed clay brick pavers” on proposed sidewalks will require execution of a perpetual maintenance agreement. Roads highly recommend patterned coloured concrete sidewalks for durability (no maintenance agreement required).
3. Request quotation and remit payment to address the requirements of the Business Units as listed below:
- Calgary Roads (CERTIFIED CHEQUE)
- a. Approved driveway crossings
 - b. Sidewalks
 - d. Wheelchair ramps
 - e. Curb and gutter
 - f. Streetlighting
 - h. Construction of corner bulbs to City standards
 - i. Rehabilitation of existing driveway crossings, sidewalks, curb and gutter, etc.

Parks:

4. Revise plans to reflect line assignment approval. Boulevard trees are to be planted in trenches not boxes. Provide a detail of the trench detail and irrigation in consultation with The City of Calgary Urban Forestry (Contact Alex Nagy at 216-5252).

Planning:

5. Identify 20 percent of the parking stalls as short term parking available for public use. Will these ‘short term’ stalls be available to users other than CHR building? What are hours of operation of CHR building and will the parking be available to public after hours/weekends, etc? Will the short term parking be separated from the remainder of the parkade by security measures. If so, what type of security measures are being considered?
6. Ensure consistency between floor plans and elevations (i.e. number of mechanical louvres indicated differ between floor and elevation plans).
7. Provide details of the proposed bollards including dimensions.
8. Recommended that the proposed bus shelter incorporate a bench, similar to that used in the historical interpretative elements. Amend accordingly.
9. Provide a cross-section for proposed trees on-site and how underground parkade relates to these trees. Trees should be planted in a trench, not boxes.

10. Where the sidewalk crosses the proposed lane will there be a change in texture in the paving material or only colour? It is recommended that a change in texture be proposed, especially along 13 Avenue as this avenue is proposed as a future greenway and pedestrian way throughout the Beltline.
11. Provide additional details regarding the commemorative elements on this site, in particular the Coat of Arms over the front entry and the small plaque that is attached to a freestanding masonry block on site. Please contact Darryl Cariou, Heritage Planner directly at 268-5326 to resolve this item.
12. Indicate location of (temporary) fencing around the outdoor café use. Provide details of fencing.
13. Submit the proposed east elevation for the remainder of the Colonel Belcher Hospital building for review. Ensure a compatible interface with the proposed Health on 12th building.
14. Remove sign band from mechanical unit. All sign band locations shall meet the requirements of the Sign Appendix, Land Use Bylaw 2P80.

Transportation:

15. A public access agreement will be required for the public to access the transit shelter on the site
16. Provide operating protocol for parkade overhead doors.
17. Revise middle lane in internal roadway to be a minimum width of 3.5 metres.

B. Permanent Conditions

Engineering:

1. If during construction of the development, the applicant, the owner of the development, or any of their agents or contractors becomes aware of any contamination:
 - a) The person discovering such contamination shall forthwith report the contamination to Alberta Environment, the Calgary Health Region and The City of Calgary, and
 - b) The applicant shall submit a current Phase II Environmental Site Assessment report to The City of Calgary, and
 - c) If required, the applicant shall submit a Remedial Action Plan and/or a Risk Management Plan to The City of Calgary.

Prior to issuance of a Development Completion Permit, a letter from the qualified professional who prepared the Remedial Action Plan and/or a Risk Management Plan is to be issued to The City of Calgary in which the qualified professional certifies that the Remedial Action Plan and/or Risk Management Plan has been implemented.

All reports are to be prepared by a qualified professional and shall be to the satisfaction of The City of Calgary (Environmental Management).

2. Applicant shall be responsible for the cost of public work adjacent to the site in City rights-of-way, as required by the Manager of Urban Development, including but not being limited to:
 - a) Removal of any existing facilities not required for the new development (old driveways and redundant services, etc.)
 - b) Relocation of works (survey monuments and underground/overhead utilities, etc.)
 - c) Upgrading of works (road widening and watermain upgrading, etc.)
 - d) Construction of new works (lane paving, sidewalks, curbs, etc.)
 - e) Reconstruction of City facilities damaged during construction
3. Public work to be City standard and include, but not necessarily be limited to driveways, walks, curbs, gutters, paving, retaining walls, stairs, guard rails, streetlighting, traffic signs and control devices, power and utility poles, electrical vaults, transformers, power lines, gas lines, communication lines, water lines, hydrants, sanitary lines, storm sewer lines, catch basins, manholes, valves, chambers, service connections, berms, swales, fencing, and landscaping.
4. Every effort will be made to identify the cost of public works associated with this development in advance of work proceeding; however, in some cases, this will be impossible to predict. Where the actual cost exceeds the estimate, the applicant shall pay the difference, upon receipt of notice, to The City.
5. Indemnity Agreements are required for any work to be undertaken adjacent to or within the City right-of-way or setback areas for purposes of shoring, tie-backs, piles, sidewalks, lane paving, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in City rights-of-way and setback areas must be removed to the satisfaction of the Manager of Urban Development, at the applicant's expense, upon completion of foundation work.
6. In accordance with the Encroachment Policy adopted by Council on June 24, 1996, and as amended on February 23, 1998, (retaining walls, planters, entry features, building projections) are not permitted to extend into the City right-of-way. New encroachments that are a result of this development are to be removed at the Developer's expense, prior to issuance of a Development Completion Permit.
7. Prior to the issuance of the Development Completion Permit the applicant is to submit a certificate that is signed and sealed by a Professional Engineer, confirming that the development has been constructed in functional compliance with the Development Site Servicing Plan (previously known as a Mechanical Site Plan). Functional compliance is solely determined by the City to mean compliance with all City Bylaws, Standards, Specification and Guidelines.

Planning:

8. The development shall be completed in its entirety, in accordance with the approved plans and conditions; any changes to the approved plans (including non-completion of the development) shall be submitted for approval to the Development Authority.
9. No changes to the approved plans shall take place unless authorized by the Development Authority.
10. A Development Completion Permit shall be applied for, and approval obtained, prior to any occupancy. Call the Development Field Inspection Group at 268-5491 to request that a Field Inspector conduct a site inspection and sign the Development Completion Permit.
11. All proposed trees on-site shall be provided with an underground sprinkler irrigation system.
12. Any noise or music associated with the outdoor café use shall be contained so as not to be offensive or objectionable to nearby residents or occupants.
13. The outdoor cafe shall operate only between April 1 and October 31 in any year. During the period of November 1 and March 31 in any year, the use shall cease and all furniture associated with the outdoor restaurant shall be removed.

Transportation:

14. No direct vehicular access will be permitted to/from 4 Street SW.
15. A 2.134 metres bylawed setback is required for 12 Avenue SW. No permanent structures shall be constructed within this setback.
16. No subdivision of the site will be permitted until transportation issues related to the west side of the site are resolved to the satisfaction of the Manager of Transportation Development Services, Transportation Planning.

C. Advisory Comments

The following advisory comments are provided as a courtesy to the applicant and property owner. They represent some, but not all of the requirements contained in the Land Use Bylaw that must be complied with as part of this approval

Engineering:

Calgary Roads

1. Developer should be aware of potential short-cutting that may occur across internal road between 12 & 13 Avenue
2. Applicant should be aware that 13 Avenue currently operates one-way eastbound, with angle parking on the north side. Contact Traffic Operations to discuss traffic flow conversion to two-way traffic and resolve on-street parking issues.

3. Property line is 2.1m from lip of gutter, 0.0m from back of sidewalk on 12 AV.
4. Property line is 3.4m from lip of gutter, 0.3m from back of sidewalk on 13 AV.
5. Property line is 4.0m from lip of gutter, 0.3m from back of sidewalk on 4 ST.
6. A bylawed setback of 2.134m is required adjacent to 12 AV as per the Land Use Bylaw.
7. A corner cut of 4.5m x 4.5m is required adjacent to 12 AV & 4 ST SW.
8. A corner cut of 4.5m x 4.5m is required adjacent to 13 AV & 4 ST SW.
9. Right turns only will be permitted to 12 AV SW.
10. Right turns only will be permitted to 13 AV SW.
11. Locations and dimensions of driveways must be approved by Transportation Planning. New driveways including driveway modifications or relocation must be constructed to City standards at the owner's expense. Obstructions such as storm catch basins, hydrants, power poles, etc. must be relocated to City standards at owner's expense. Wheelchair ramps are required where proposed driveway grades do not match intersecting sidewalk.
12. Calgary Roads is to determine if the existing driveway crossings, existing sidewalks, streetlighting, curb and gutter, etc. are to City standards. Replacement and/or rehabilitation is to be at the owner's expense.

Waterworks

13. Water connection available from 4 ST SW
14. Show details of servicing and metering on Development Site Servicing Plan. Provide adequate water meter room where services enter building. If static pressure exceeds 550 kpa install pressure reducing device after meter.
15. Review with Fire Prevention Bureau for on-site hydrant coverage. A stamped approved plan by Fire Prevention Bureau to be submitted with the Development Site Servicing Plans for Building Permit approval.
16. A dual service is required to service this site.
17. It will be the responsibility of the developer to repair, at their expense, any damage to the adjacent public mains or mains in which they connect during the construction of the site as per the current Waterworks Specifications. The watermains are 90 years and older and although there has been minimum breaks during their life span, any disturbance during construction such as a new service connection or other alterations can cause breaks. Lead joints of old cast iron mains are very sensitive to ground movements.
18. If further subdivision occurs in the future (including strata subdivision), each titled parcel MUST have separate service connections to the public mains (water and sanitary).

Wastewater & Drainage

19. Sanitary connection exists to site.
20. Storm sewer connection available from 13 AV SW
21. Show all existing and proposed sewers on the Development Site Servicing Plans at the Building Permit stage.
22. Sanitary service test facility is required.
23. Drainage from all underground or covered parking areas is to be directed towards the sanitary sewer system, as per Sewer Service Bylaw 24M96.
24. All open ramp run-off shall drain to on-site storm sewer and covered ramp shall drain to sanitary sewer.
25. Allowable stormwater run-off co-efficient shall be 30%.
26. Ponding required for 1:100 year storm event.
27. Direct all roof drainage to on-site storm.
28. Slab of building elevation to be min. 0.3 metres above top of pond.
29. All building openings, ramps, etc, adjacent to trap lows are to be min. 0.3 metres higher than the maximum water elevation at the 1:100 yr. depth or depth of spill, whichever is greater.
30. Contain storm runoff on site.
31. Controlled stormwater discharge required.
32. All on-site sewers are to be designed to City of Calgary specifications.
33. Prior to the reuse of existing sewer(s), contact Mike MacIsaac, Wastewater & Drainage Operations Manager, at 268-1233, to arrange for an inspection by city personnel. If existing services are found to be unsuitable for reuse, new services shall be installed at the developer's expense.
34. If water service is replaced, then a new sanitary service is required.

Utility Line Assignments

35. The applicant must apply for a line assignment from Utility Line Assignments for tree planting in the City road right-of-way (boulevard). This application consists of a letter, on letterhead, requesting approval to plant trees in the boulevard and five (5) landscape plans showing all of the following information:
 - a) property lines
 - b) curb/sidewalks

- c) species and caliper of proposed trees (evergreen and poplar trees are not permitted in boulevards)
- d) existing features (streetlight poles, hydrants, existing trees, utilities, etc.)
- e) dimensions from property line to all of the above features.

Include the Development Permit Number in your letter. Shrub and flowerbeds are not permitted in City boulevards. Due to the number of applications reviewed by this office, it will typically take two weeks for a response. The letter can be addressed to Mr. Sid Hoover, Supervisor, Utility Line Assignments, 6th Floor – 800 Macleod Trail S.E., Calgary, Alberta, T2P 2M5.

Parks:

- 36. All proposed boulevard trees are subject to a line assignment. Boulevard trees are to be planted in trenches. Provide a detail of the trench detail and irrigation in consultation with the City of Calgary Urban Forestry (Alex Nagy 216-5252).

Planning:

- 37. This development permit approval makes no provision for revisions. Revised plans shall be submitted to, and approved by, the Development Authority.
- 38. The development must commence before June 30, 2008 or this permit will no longer be valid.
- 39. Any of the conditions of the development permit approval may be appealed. If you decide to file an appeal, it must be submitted to the Manager, Subdivision and Development Appeal Board (Plaza Level, Municipal Building, #8110) within 14 days of receipt of this letter.
- 40. All measures relating to handicapped accessibility in the design of this project shall be maintained and operable for the life of the building, including those which are required through the building permit process.
- 41. Any trees and shrubs indicated on the site plan which die after completion of the project must be replaced on a continuing basis with trees or shrubs of a comparable species and size.
- 42. Any changes to the design of the outdoor cafe, including any expansion, shall require prior approval by the Development Authority.
- 43. The operator of the outdoor cafe shall maintain the outdoor cafe in a safe and tidy condition, to the satisfaction of the Development Authority.
- 44. In addition to your Development Permit, you should be aware that a Building Permit is also required. Now that your Development Permit application has been approved, you may apply for a Building Permit. Please contact Building Regulations at 268-5311 for further information.

Transportation:

45. Pedestrian routes are to be free of obstacles that would interfere with the accessibility of pedestrians using wheelchairs. Sidewalks are to be constructed with curb cuts where there is a change in elevation.
46. In keeping with the principles of Crime Prevention Through Environmental Design (CPTED), landscaping and fencing materials adjacent to pedestrian routes area to be of a height that minimizes potential hiding places and maximizes visual surveillance of the pedestrian route.
47. In keeping with the principles of Crime Prevention Through Environmental Design (CPTED), pedestrian oriented lighting is to be provided along pedestrian routes.
48. The applicant is advised that the site is located within 400 metres of a transit route (or 600 metres of an LRT station). It is recommended that the applicant limit the number of parking stalls provided to the number required by The City of Calgary Land Use Bylaw.

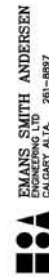
Debra Hamilton
2005-06-21



Gibbs Gage
ARCHITECTS



READ JONES CHRISTOFFERSEN LTD.
Consulting Structural Engineers
3005, 1815, CIRCLE RD. NW, CALGARY, AB T2B 2J7
PH: (403) 263-5023 FAX: (403) 272-8402

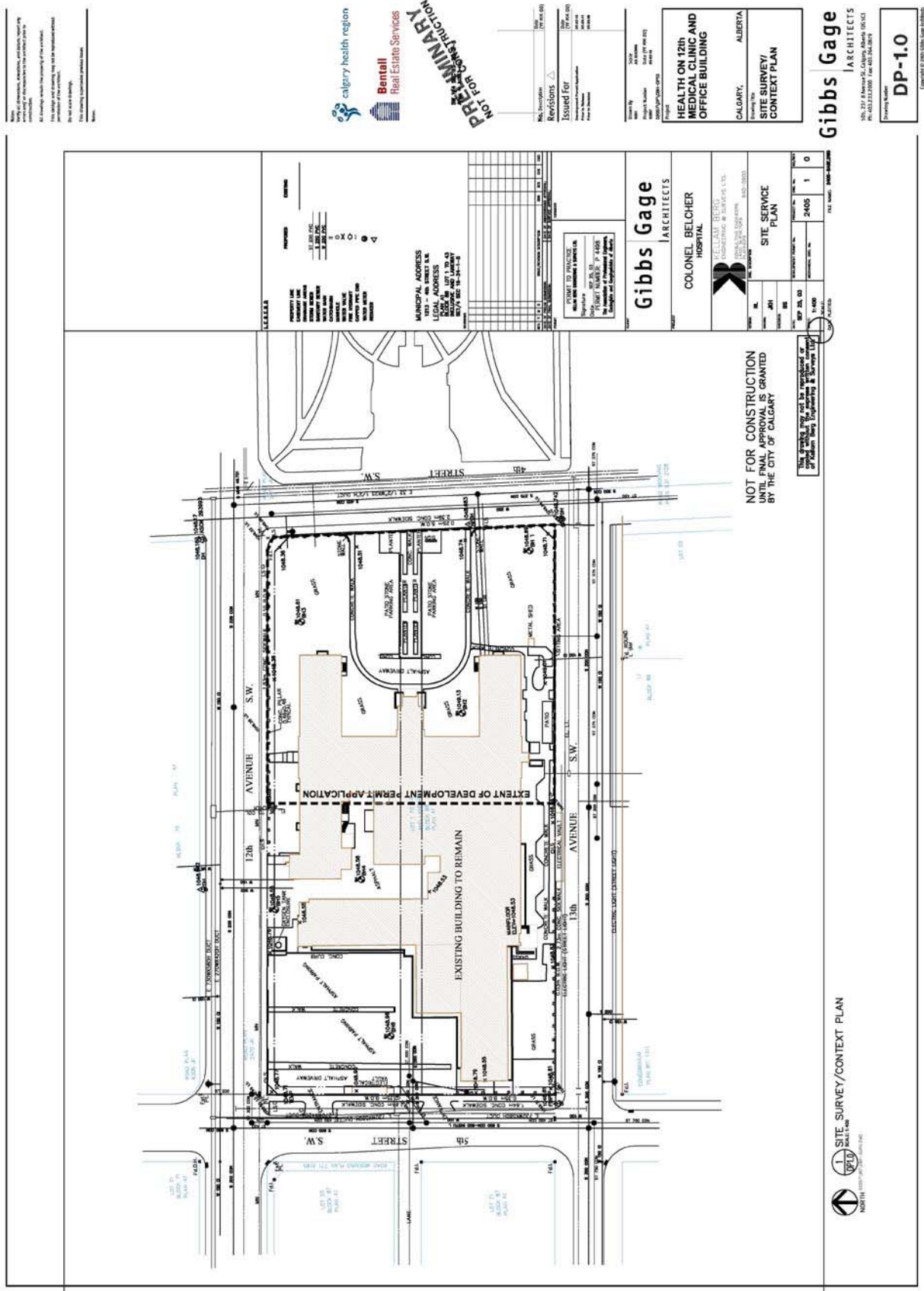


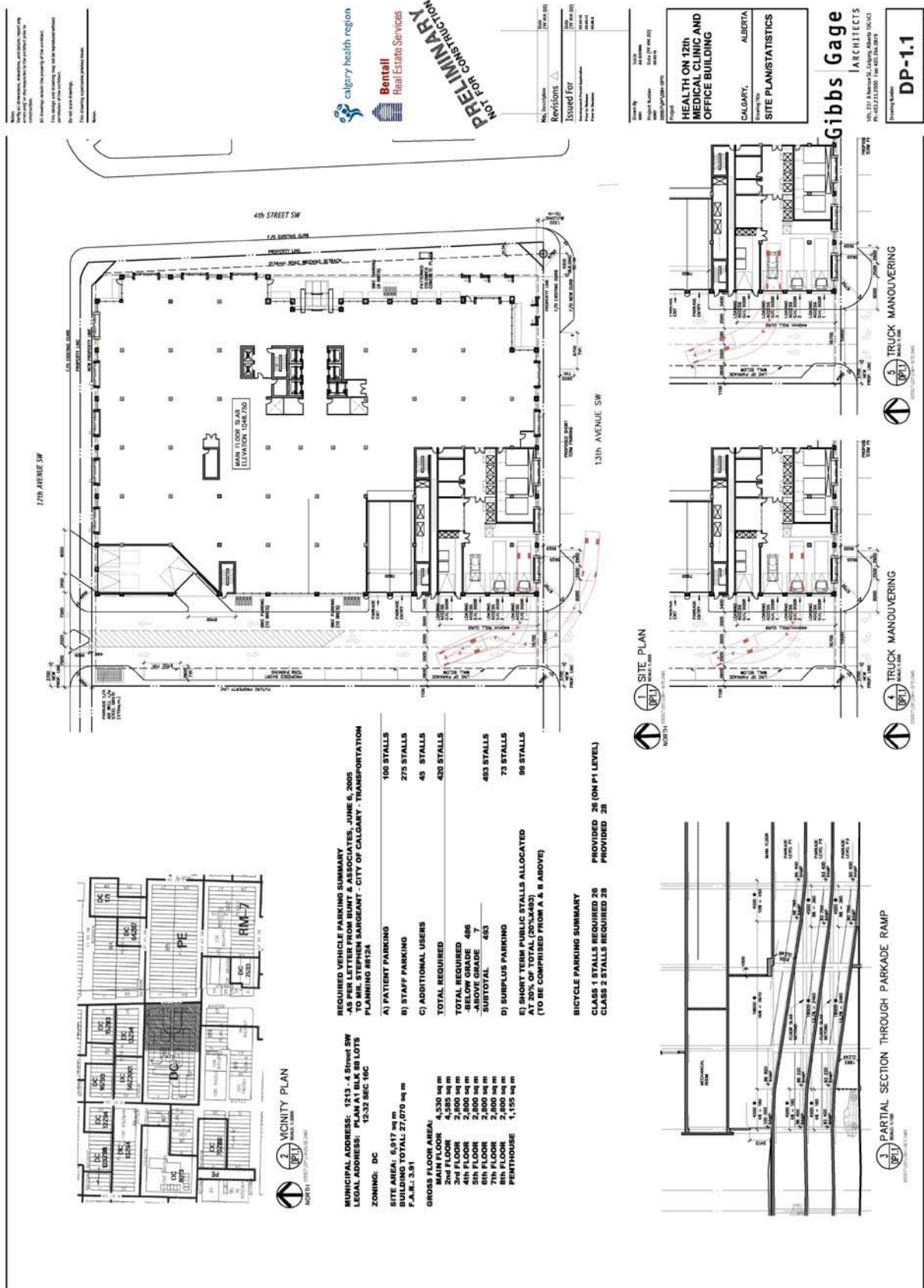
PROPOSED HEALTH ON 12th MEDICAL CLINIC AND OFFICE BUILDING DP 2005-0570

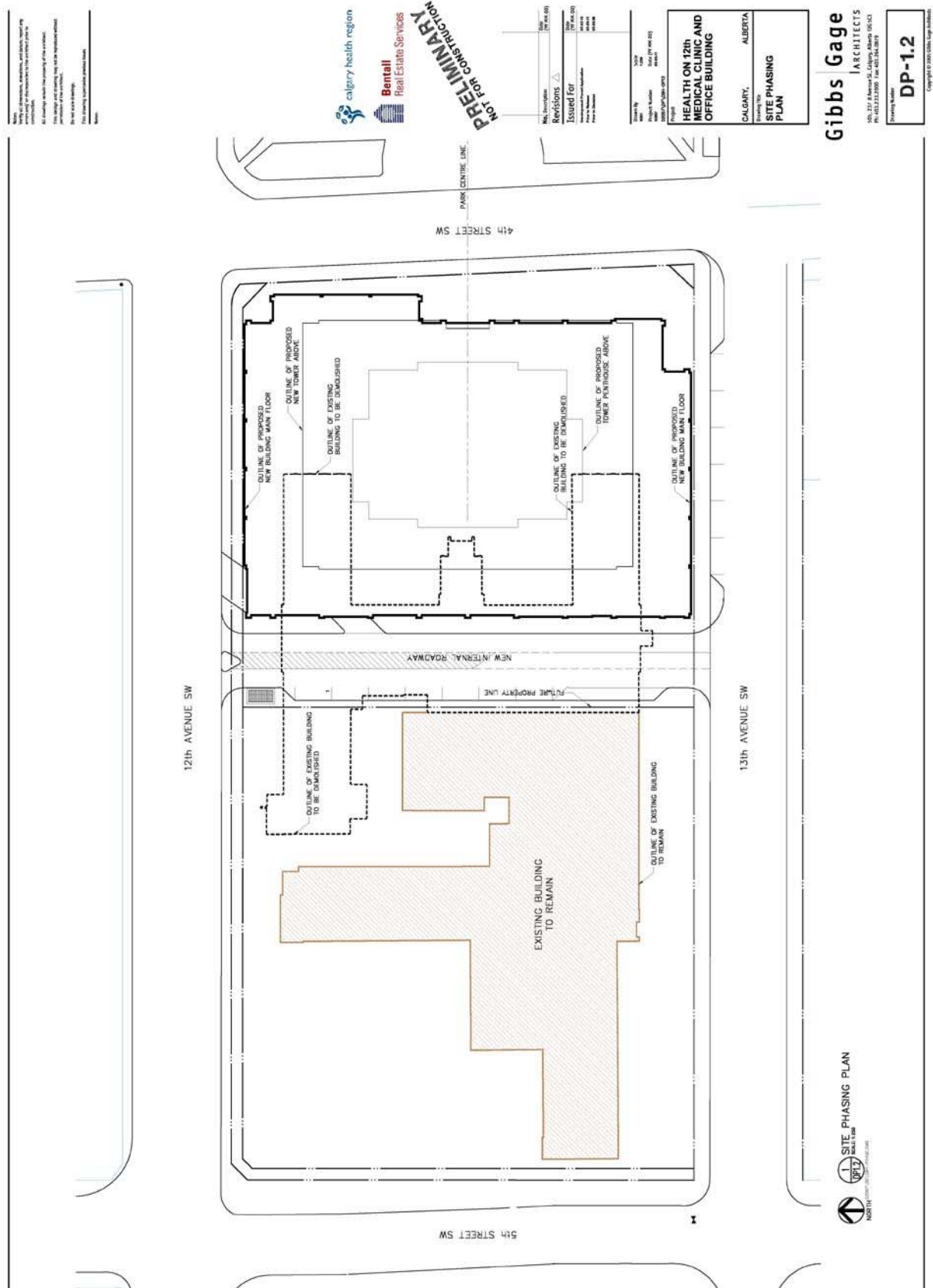
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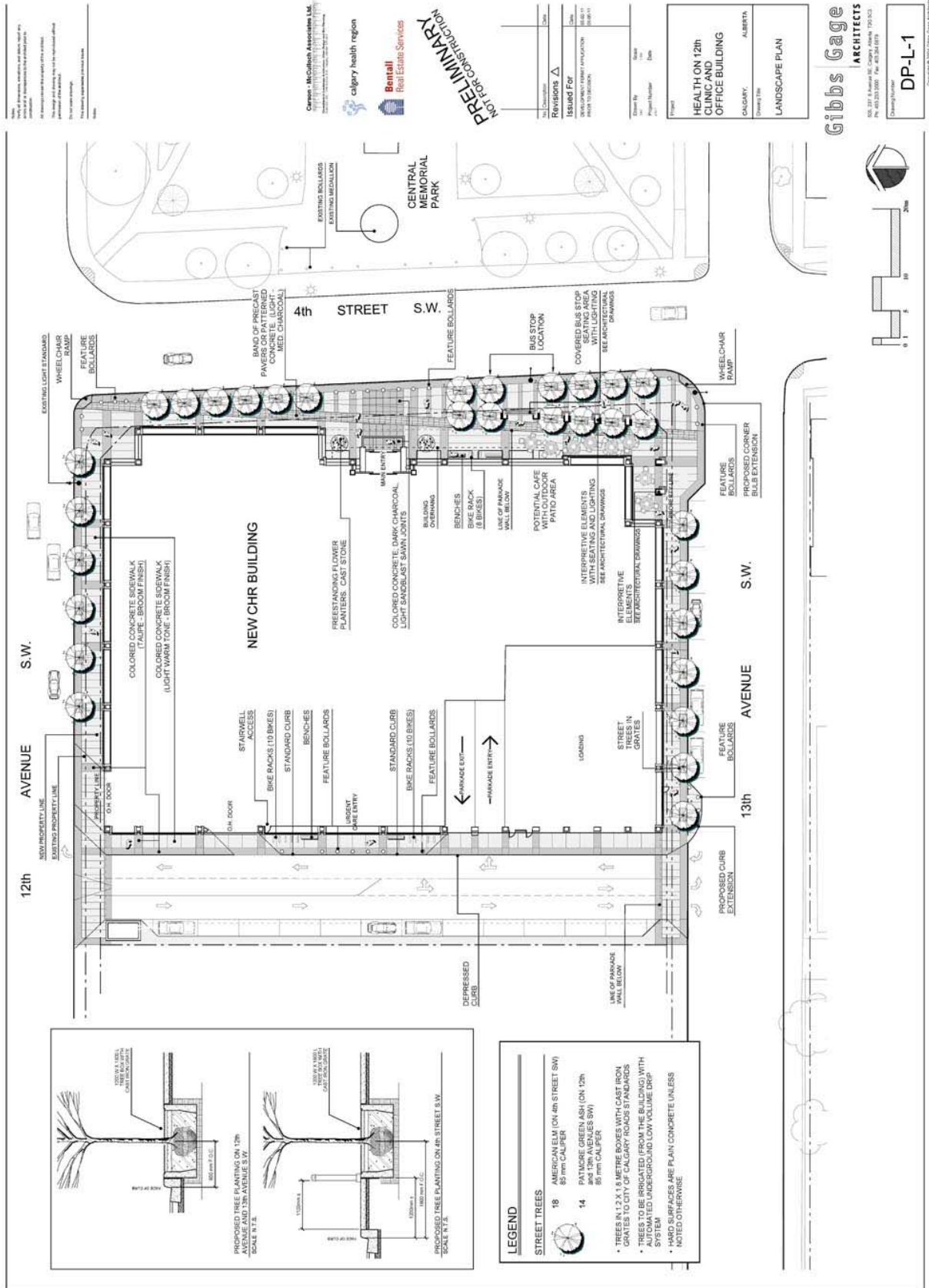
DP 1.0	SITE SURVEY/PHASING PLAN
DP 1.1	SITE PHASING PLAN
DP 1.2	SITE PHASING PLAN
DP L-1	LANDSCAPING PLAN
DP 2.01	PARKADE LEVEL 1 PLAN
DP 2.02	PARKADE LEVEL 2 PLAN
DP 2.03	PARKADE LEVEL 3 PLAN
DP 2.04	MAIN FLOOR PLAN
DP 2.05	2nd - 8th FLOOR PLAN
DP 2.06	3rd - 8th FLOOR PLAN (Typical)
DP 2.07	PENTHOUSE PLAN
DP 3.1	EAST AND WEST ELEVATIONS
DP 3.2	NORTH AND SOUTH ELEVATIONS
DP 4.1	BUILDING SECTION

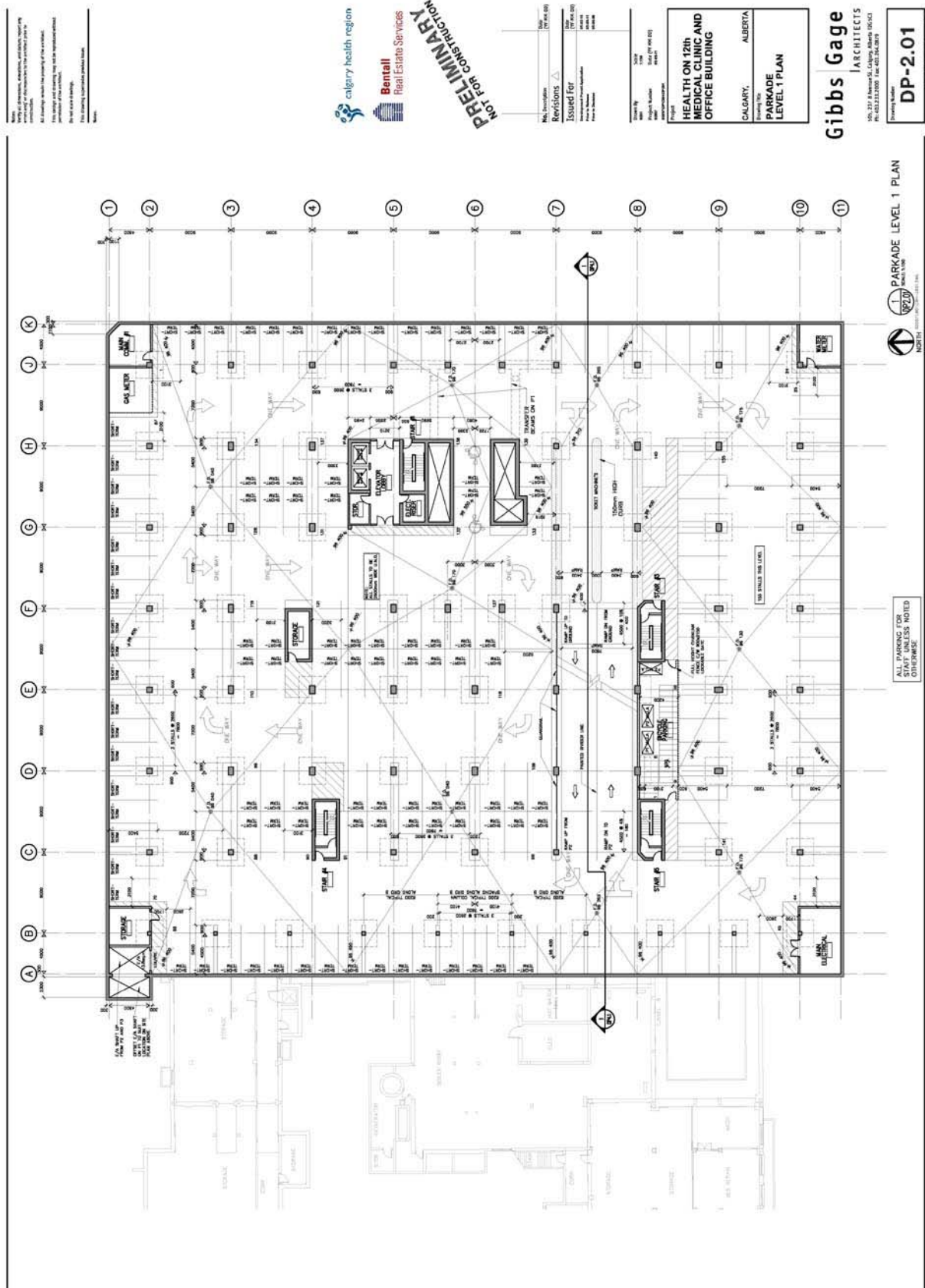
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CONDITIONS
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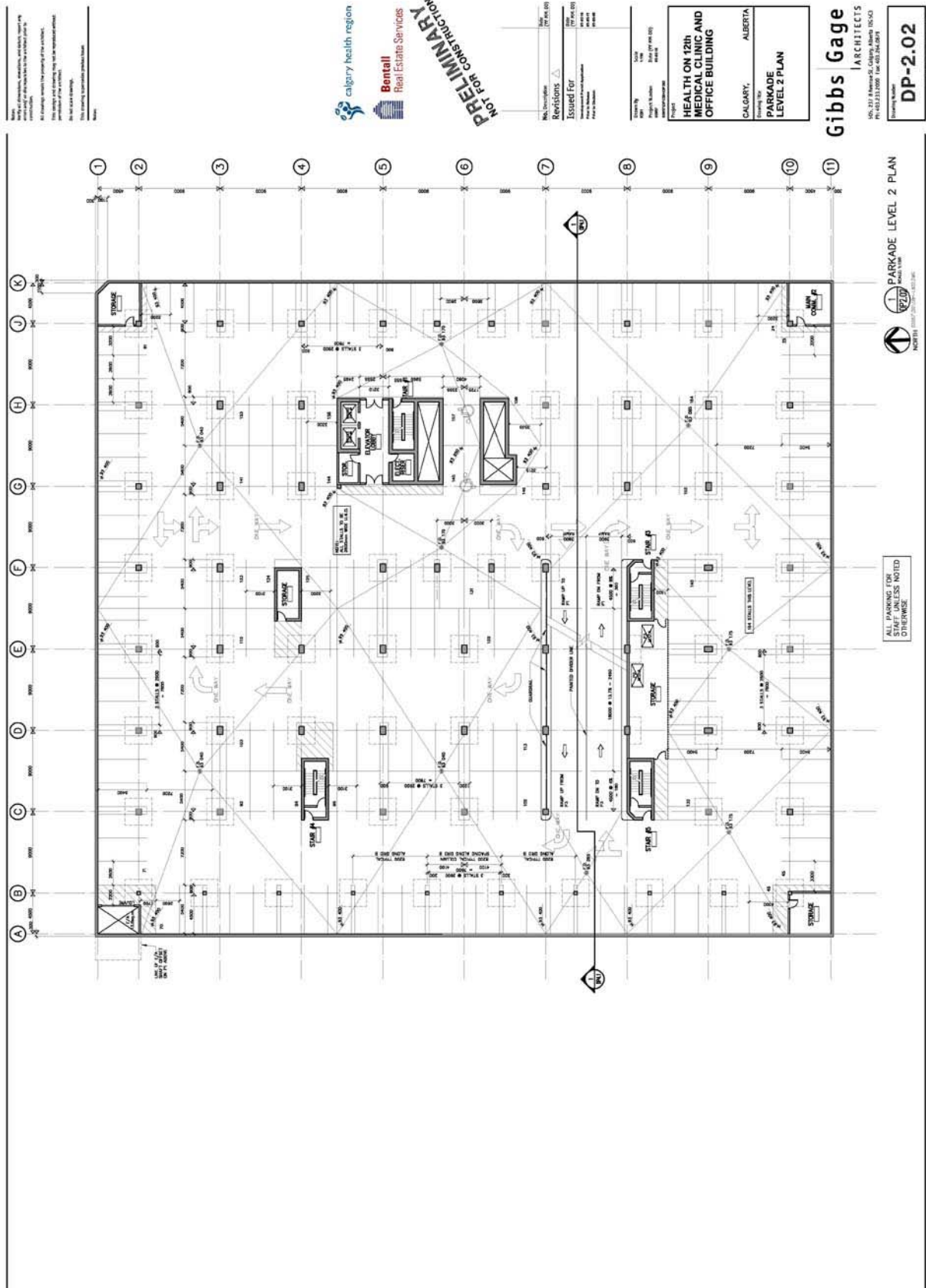


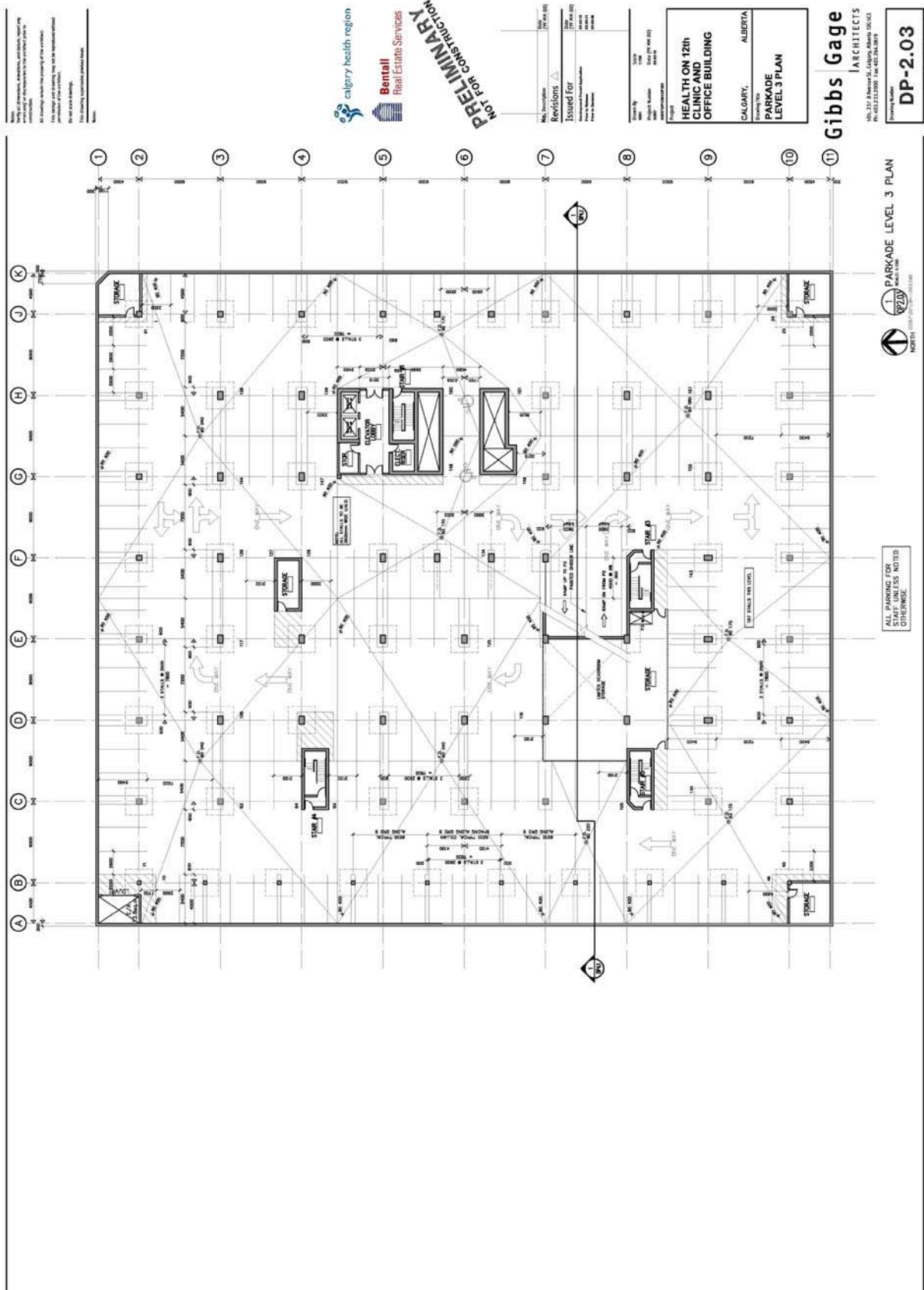


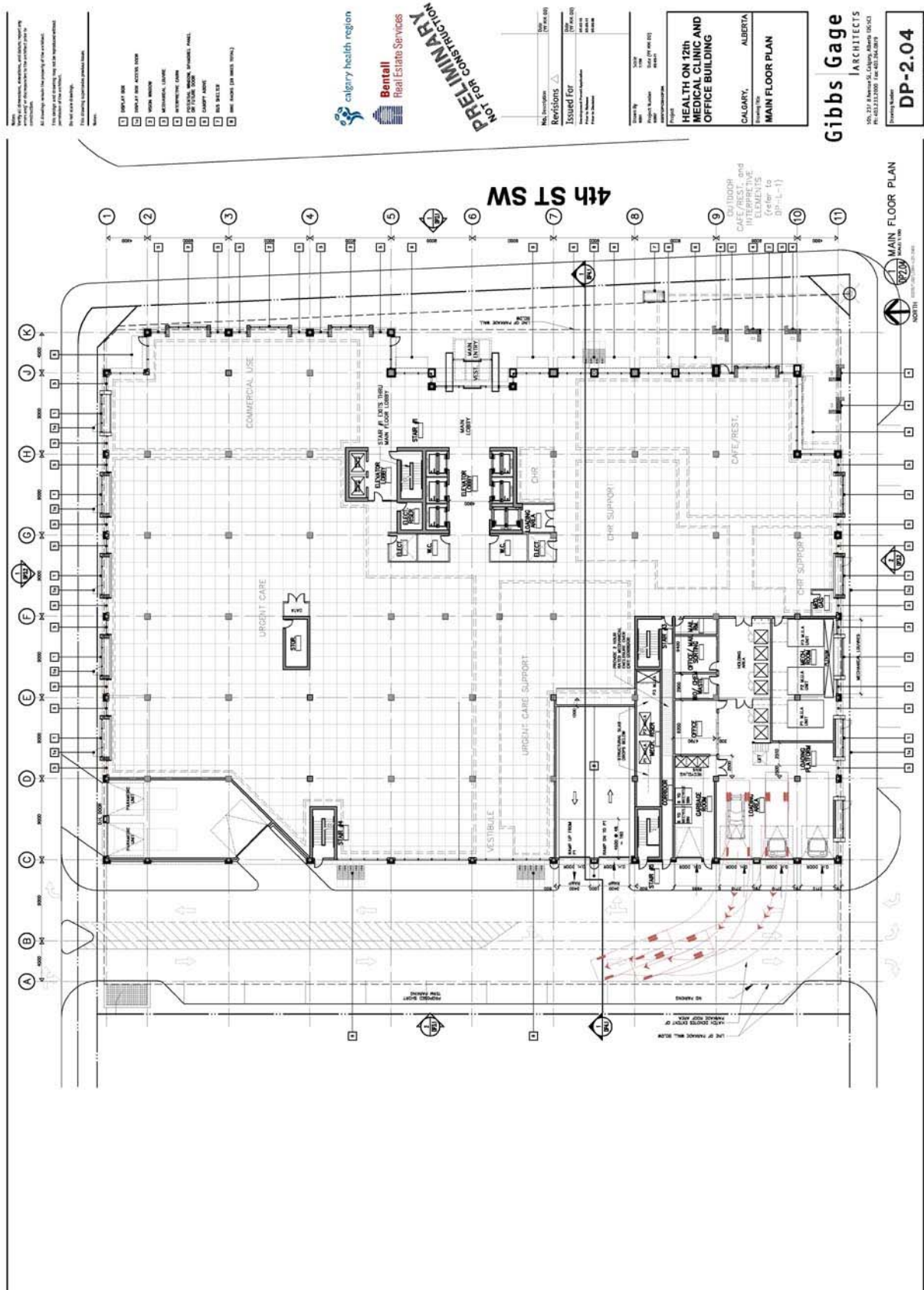




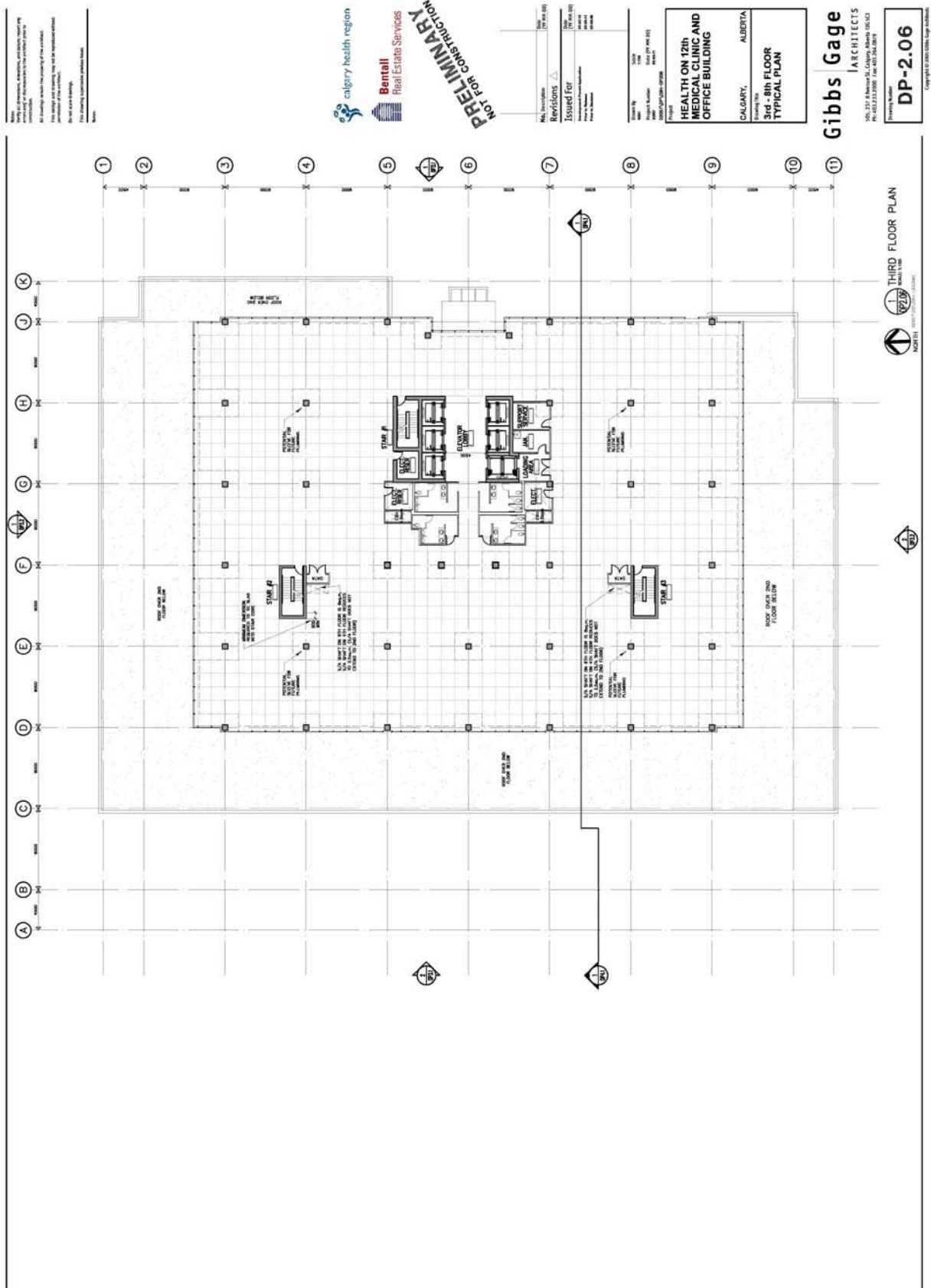


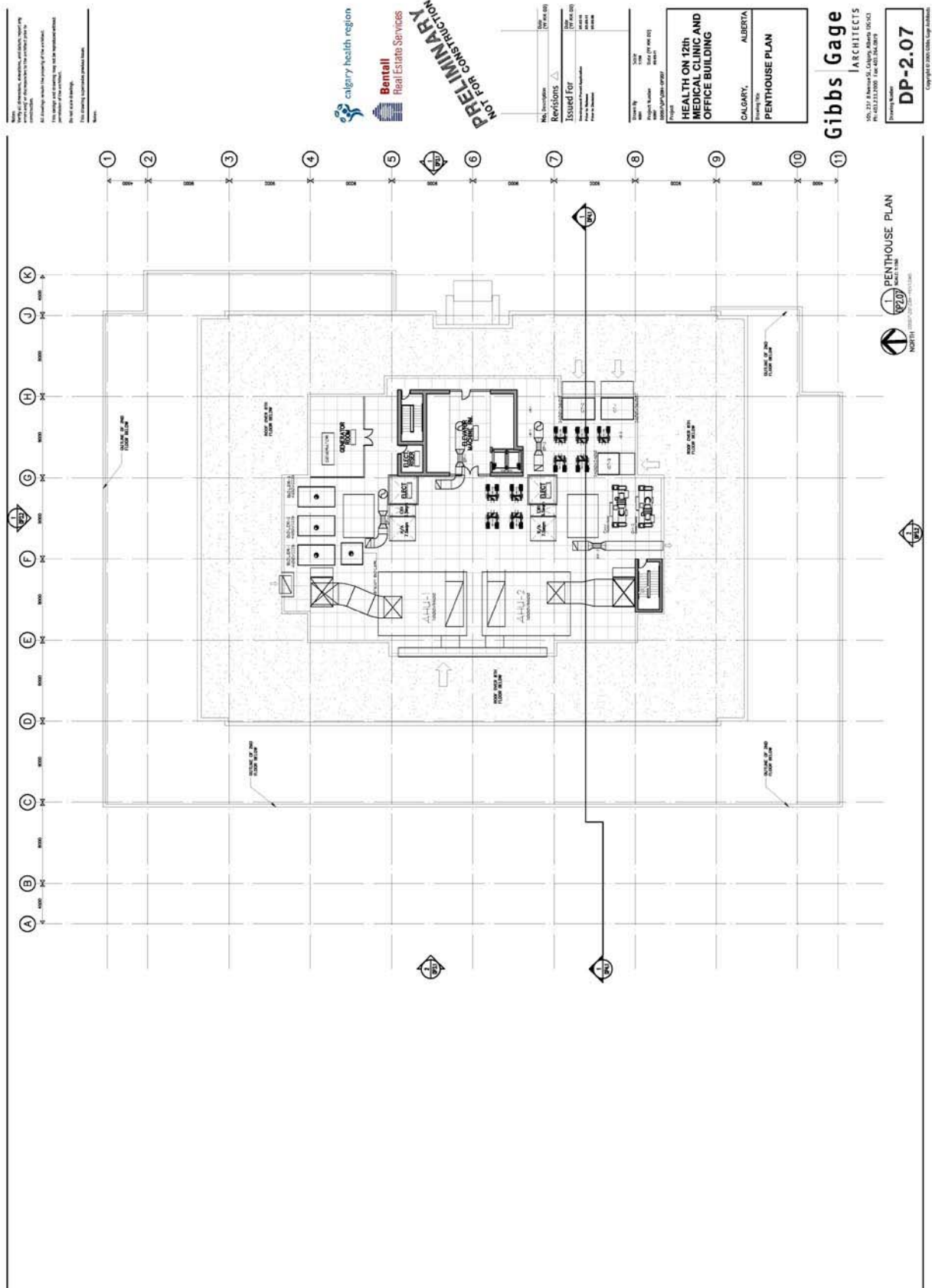


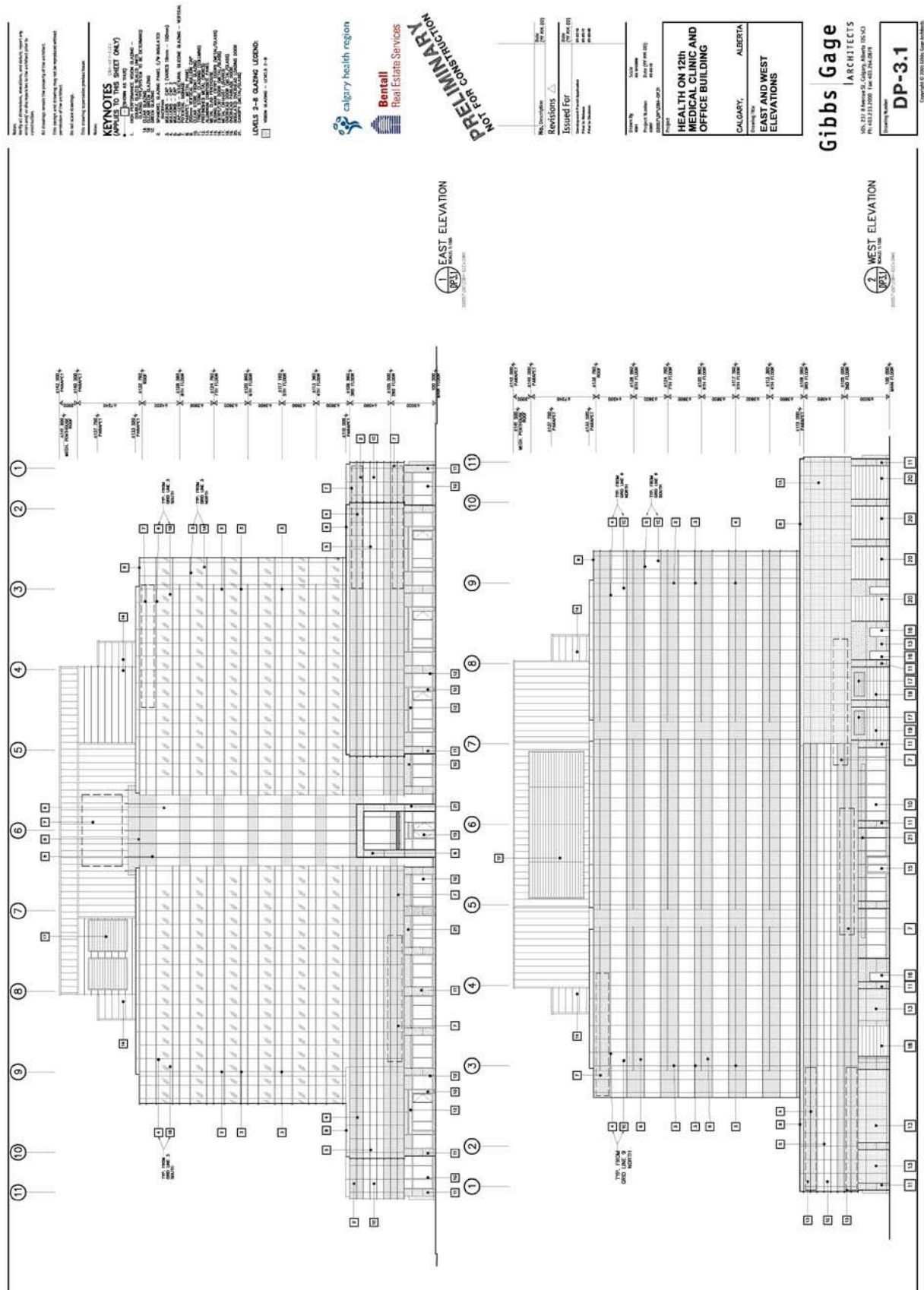


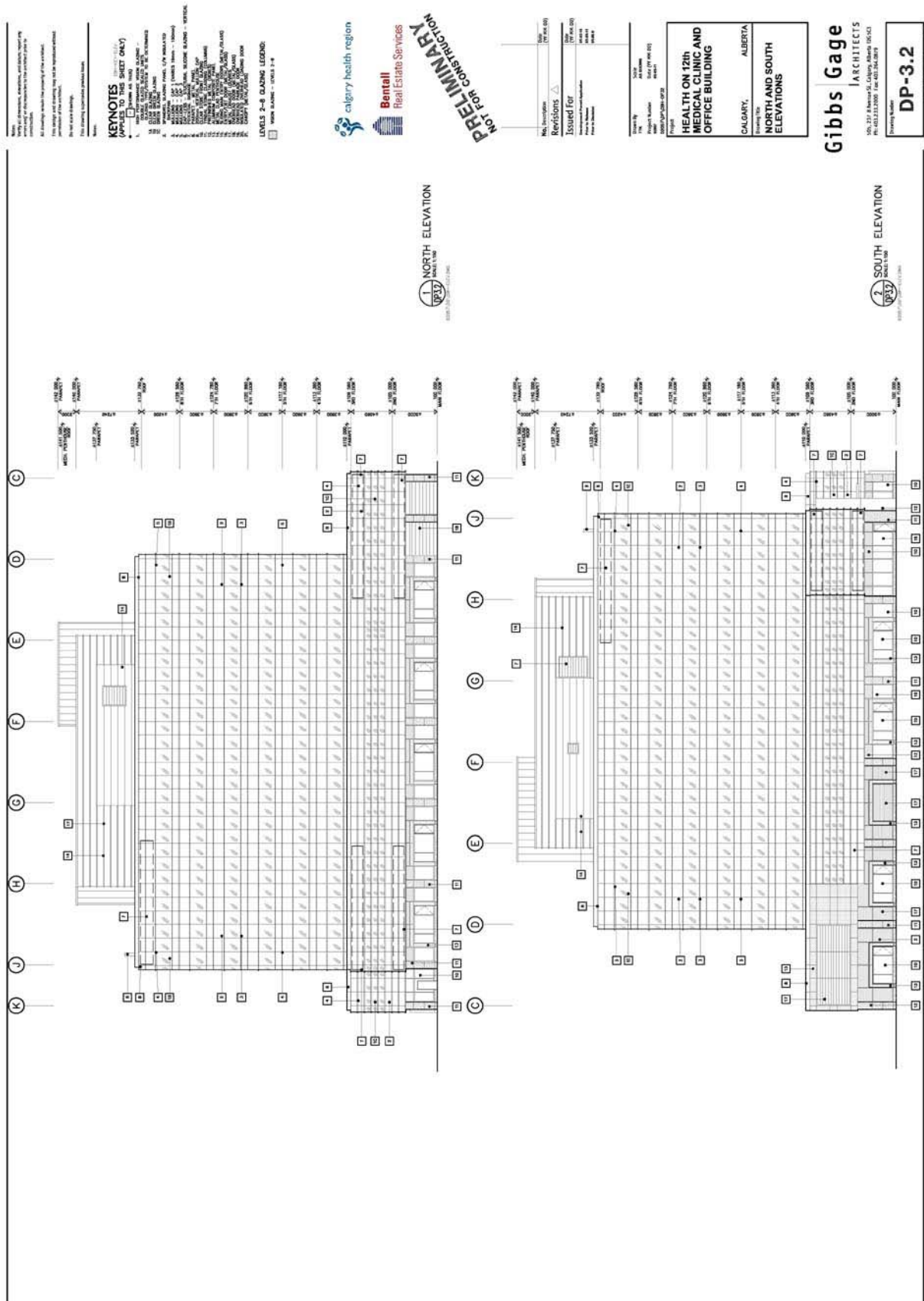


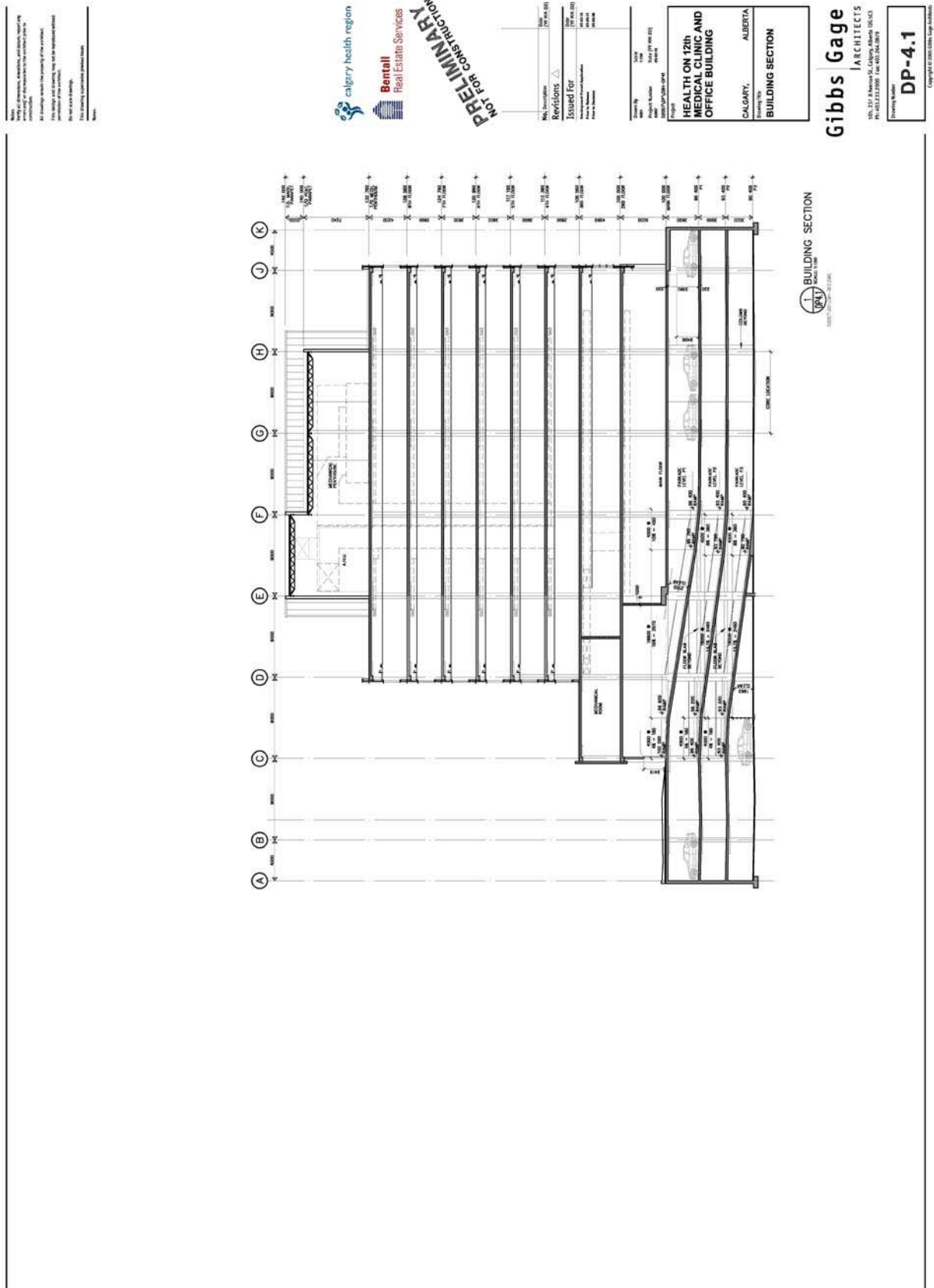












Hamilton, Debra

From: Cameron [Cameron@SturgessArchitecture.com]
Sent: 2005 April 14 10:17 AM
To: Hamilton, Debra
Cc: planning@beltline.ca; president@beltline.ca; stephen.mahler@gibbsgag.com
Subject: DP 2005-0570 (health on 12th)

debra,

please accept our apologies for the tardiness of our response to subject circulation. we have reviewed same and we have had discussions with the applicant. we have given considerable attention to this circulation and we provide the following comments.

we preface all comments relating to the design with an acknowledgement of the productive process which has accompanied this application. we are very pleased with the willingness of the applicant to hear & address our concerns, and accommodate our schedule.

with respect to the design itself, we believe that the 'health on 12th' proposal is of unusually high standard and we will be very happy to host the building in our community.

formally, the design is an appropriate response to a complex site & programme. in relation to the church, reasonable views of the steeple will be maintained, the historical nature of the church will be respected through compliment rather than mimicry, and the church will have an 'address' on the proposed 4th st plaza. the plaza itself is of obvious benefit to the street & community, and the 8 storey block provides needed definition to 4th st and the park.

we also applaud the proposed use of contemporary & high-quality materials. we feel that they are congruent with the programme and with the high-profile, high-traffic site. we note that the applicant's materials legend allows for some substitutions and we would be disappointed to see a downgrade in the high material quality of the eventual building.

discussions with the applicant regarding public art on the proposed 4th st plaza yielded an agreement that beltline planning group would play some role in helping select an artist and/or piece. beltline heritage group would also like to see some recognition of the site's history incorporated to the plaza and we understand that the applicant is prepared to accommodate this wish. we look forward to future discussions with the applicant and the city heritage authority in this regard.

there are details however, regarding the proposed lane and 12th & 13th ave frontages, and the overall contextual scale, which we feel have been inadequately illustrated for us to conclusively comment on. accordingly, we reserve comment on these details and we trust that the applicant will resolve them to the same high standards as the 4th st address. we will be pleased to provide comments at such time that the applicant produce supplementary illustrations in this regard.

there are also several aspects of the proposal which we believe are missed opportunities. we feel that the roof top of the podium could be better treated than the gravel ballast depicted, particularly given the views of it from surrounding mid-rises. the bus stop that is presently located on 4th st should be upgraded as part of the plaza and could utilize the same design language as the hospital. 4th st between 12th & 13 ave could be decoratively paved to create a link to the park similar to the condition on macleod tr at city hall/olympic plaza.

additionally, we are concerned that the proposed tree-planter detail will inhibit full growth of the proposed soft landscaping along 4th st and we wish to see a trench design in this regard. the mechanical penthouse appears excessive in size and we suggest that it could be reduced once the mechanical systems are specified. the notch at the ne corner, which we understand results from bylaw, seems unresolved and we feel it would benefit from further attention, if not elimination altogether.

overall however, we believe that 'health on 12th' is an exceptional proposal for development in the beltline

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and we trust that this will be recognized by city administration. given the applicant's history of willingness to accommodate us, we are confident that our outstanding concerns will be addressed to a mutually satisfactory resolution.

we look forward to adding the health on 12 building to the catalogue of high-quality architecture that exists in the beltline.

sincerely,

cameron gillies BA, BEDs, MArch, LEED accredited professional
beltline planning group
p. 403 585 6628
e. circulations@beltline.ca
w. www.beltline.ca

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Beltline Planning Group thanks you for your attention and cooperation.

2005/06/22

URBAN DESIGN REVIEW PANEL

HELD ON WEDNESDAY, 2005 APRIL 06, AT 1:15 P.M.

INGLEWOOD BOARDROOM

ITEM NO. 1: **Debra Hamilton**

COMMUNITY: BELTLINE

FILE NUMBER: DP2005-0570

MUNICIPAL ADDRESS: 1213 4 Street SW

APPLICANT: Gibbs Gage Partnership

DESCRIPTION: New Commercial Building (Medical Clinic and Offices)

Note: Continuation of this application from the meeting on 23 March for Panel Members to give their comments.

Preliminary Comments from 23 March meeting

- There is potential for confusion of the public as to the main entrance to the building for both pedestrian and automobile traffic. A clearer visual definition of the appropriate entrances must be provided.
- The 4th Street edge of the building should have uses at grade which allow views into the building to animate the street. The use of “display windows” along the 4th Street and 12th Avenue facades was seen as a poor and potentially unattractive alternative to active, visible uses. The Panel recommends commercial uses at the corner.
- The Panel supported the articulation of the plan to preserve views of the existing Church on 4th Street.
- The location of the louvers/loading area along 13th Avenue was seen as unfortunate given the intention to reinforce the pedestrian quality of 13th Avenue
- Proposed design is a missed opportunity for a response to a very important civic park – needs different response.
- These landscape features aimed at commemorating the history of the site and some of the local context should not mimic that context. The commemorative features could be simpler.
- The Panel recommended more architectural articulation at street level and to the podium.

Gibbs Gage

505, 237 8 Avenue SE

Calgary, AB T2G 5C3

Ph: 403.233.2000

Fax: 403.264.0879

email@gibbsgage.com

June 17, 2005

THE CITY OF CALGARY

Planning & Building Department
P.O. Box 2100, Station M
Calgary, Alberta
T2P 2M5

Attention: Ms Debra Hamilton, Mr. Ian Cope, Mr. Matthias Tita

**Re: Development Permit Application for the Health on 12th,
New Commercial Building, Medical Clinic Offices,
1213 - 4th Street SW
DP 2005-0570
Our File 02057 / 1.2A**

Dear Debra, Ian and Mattias:

On behalf of the Calgary Health Region, who are the owners of the above noted property, and Bentall Real Estate Services, who are the development managers for CHR, we are pleased to provide the following project description in conjunction with the applicant submission for the development permit application. We have worked closely with the CPAG, Alderman Madeline King, the community and the First Baptist Church to ensure that the needs of CHR are provided with an awareness of their neighbors and the community at large.

BACKGROUND

The development of the site responds to **3 primary drivers** as identified by the Calgary Health Region; 1) CHR clinical programs, 2) Land use and community interface and 3) Project cost and value.

Clinical Programs

The CHR will provide numerous non-acute clinical services on the site including an urgent care program and the relocation of the 8th and 8th medical clinic. Other clinical services operating both on the present site and at various other locations will be co located here in a more efficient central location serving the inner city and growing beltline populations.

Land use and community interface

In order to allow these non-hospital functions to be provided on this site and for future development flexibility for the balance of the westerly portion of the site the zoning was redesignated from P.S., to Direct Control with CM-2 guidelines in July, 2004. The zoning outlined several design guidelines, which have been carefully responded to in this application in conjunction with the internal programmatic needs and requirements for flexibility.

***L. Wade Gibbs**

Architect, A.A.A., M.R.A.I.C.

***Douglas F.C. Gage**

Architect, A.A.A., M.R.A.I.C.

***R.W. Lewis**

Architect, A.A.A., M.R.A.I.C.

***Vincent F. Dods**

Architect, A.A.A., M.R.A.I.C., LEED AP

A professional corporation

Ed Sych

Senior Technical Associate

Harold Bichel

Technical Associate

Paul Burns**Allen Deboer****Tracie Filuk****Stephen Mahler****Dave Skaret****Wade Wheeler**

www.gibbsgage.com

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Project cost and value

The cost of the project is being closely monitored through the design phase by Bentall Real Estate Services and Ellis Don Construction along with the consultant team and CHR. It has been necessary to balance the desire for articulated building forms with the limitation of budget and the internal flexibility required by CHR. Significant enhancements to the design have been implemented through the Preliminary Design Phase in response to comments from the CPAG, the Planning Department, the Urban Design Review Panel and the community. We believe the present proposal is cognizant of all of these constituents and represents a balanced response relative to the Primary drivers identified by CHR.

SITE

The site comprises the easterly portion of the city block bound by 4th and 5th Street SW and 12th Ave and 13th Ave SW and faces Central Memorial Park at 4th Street. The site is currently occupied by the Colonel Belcher Hospital and owned by the Calgary Health Region.

IMAGE CONCEPT AND MASSING**Image and Materials**

CHR requested that the image of the building reflect that of an 'efficient modern medical facility'. Back painted glass spandrel panels, clear anodized aluminum unitized curtain wall have been chosen to respond to this request. The intent is to provide a modular, high quality building envelope. At grade level, tyndal stone and painted metal panels provide additional articulation. The colouration for the glass panels is a range of blues and greens to reflect the natural elements of the park and sky.

Massing

The building has been set on a 2 storey podium, allowing the lower 2 floors to be larger footprints as required by the program. The curtain wall articulation is greater at the podium to provide more visual interest through the provision of deeper aluminum cap frames. The podium also offers additional protection to pedestrians by dissipating winds, which may be deflected down the face of the tower above.

A 6-storey tower sits atop the podium. Floor plates are about 30,000 sf in response to CHR's programmatic needs. As the medical needs of the community and medical technology evolve, CHR anticipates the need for a high degree of interior flexibility. Straight exterior walls with consistent window sill and head heights are required. Feedback from the CPAG and Urban Design Review panel challenged us to look for ways to provide additional articulation of the facades. A change in plane and spandrel glass colour has been provided at the north and south facades, which wraps around to the east and west facades by about 12 feet. This expresses the cantilevered condition of the floor slabs on the north and south facades and provides the additional articulation.

G i b b s G a g e

| Architects

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The original penthouse massing was that of a uniform block with metal cladding. The present design has subdivided the massing into several components and varied the articulation of the metal cladding. A light colour for the penthouse has been chosen to minimize the contrast with the sky and de-emphasize its presence.

DESIGN RESPONSE

Memorial Park Interface

As required by the design guidelines set out in the Zoning, the building has been organized in response to the east/west axial organization of Memorial Park to the east. Both the east and west entries have been placed on this axis and a plaza at the east entrance is provided strengthen the sense of entry. The elevator lobbies on each floor of the building will have windows looking out over Memorial Park. This window feature is articulated on the exterior to address the axial relationship and to break down the mass of the building.

4th Street Interface

The east façade steps back along 4th street to permit views of the First Baptist Church Steeple as required by the design guidelines set out in the Zoning. The main entry, a café and plaza at the SE corner and a commercial use at the NE corner are provided for along 4th Street to respond to the importance of Memorial park to the east and the north south pedestrian volumes. Additionally, a series of interpretive cairns have been incorporated in the plaza to commemorate the history of the site.

12th and 13th Avenue Interfaces

Since the programmatic requirements of CHR place a high demand on the ground floor, the building facades along 12th and 13th Avenue are built up to the property line. This reinforces the pedestrian edge and provides maximum internal area. These facades are highly articulated to provide visual interest and the opportunity for active edges. The potential exists to create storefronts or display windows along these facades. CHR plans to use several of these display windows to provide public awareness programs. Some of these windows will be made available for commercial lease. The CHR is willing to work with the City to accommodate other City related display opportunities such as public art or historic resources.

LANDSCAPING

We have worked closely with Carson McCulloch and Associates to develop a plaza design that extends to the curb edge with patterned concrete. This higher quality finish is also extended to the sidewalk along the internal roadway to the westerly entrance. A single row of street trees is provided along 12th, and 13th Avenues and a double row is provided at the southerly half of 4th street. The historic cairns are incorporated into the design and a comprehensively designed bus shelter will also be provided along with public bike parking.

G i b b s G a g e

ARCHITECTS

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TRANSPORTATION ISSUES

We worked closely with Bunt and Associates, transportation planners to allow for the transportation pressures on the site. An internal road west of the building between 12th Ave and 13th Ave will be provided to accommodate vehicle traffic to and from the site, including access to Urgent care, parking and loading.

Parking

486 underground parking stalls will be provided for staff, patients and public. 20% of the stalls are identified on the P1 level for public as required by the zoning. The parking is accessed from the internal roadway to minimize disruption to adjacent streets.

Loading

Loading facilities for the development will be at grade within the building and accessed from the internal roadway. The requirements for waste management have been carefully considered and include a recycling program, which will be managed by Bentall Real Estate Services.

PHASING

Services presently being offered in the easterly portion of the Colonel Belcher Hospital will be temporarily relocated to the westerly wings of the existing building. Once relocated, the easterly portion of the building will be demolished and the new building will be constructed. Upon completion of the new building, clinical services in the westerly portion of the Colonel Belcher Hospital will move into the new building along with the balance of clinical services. The westerly portion of the site could then be redeveloped by CHR or sold for redevelopment.

In summary we are very proud of the design for this significant public building in Calgary's Beltline. We believe this design represents the needs of the CHR. We have enjoyed working with CHR and the community to arrive at a solution that considers their respective interests. We see the input and feedback from the CPAG process as constructive and feel that the present design is reflective of it.

We trust this information is helpful to you as you process the application and look forward to your support. Please let us know if you require anything further.

Yours truly,

GIBBS GAGE ARCHITECTS

Stephen Mahler, B.E.S., M.Arch.
Design Manager

cc. Mr. Bob Holmes and Mr. Jim Strome – The Calgary Health Region.
Mr. Randy Magnussen and Mr. Murray Noble – Bentall Real Estate Services

G i b b s G a g e