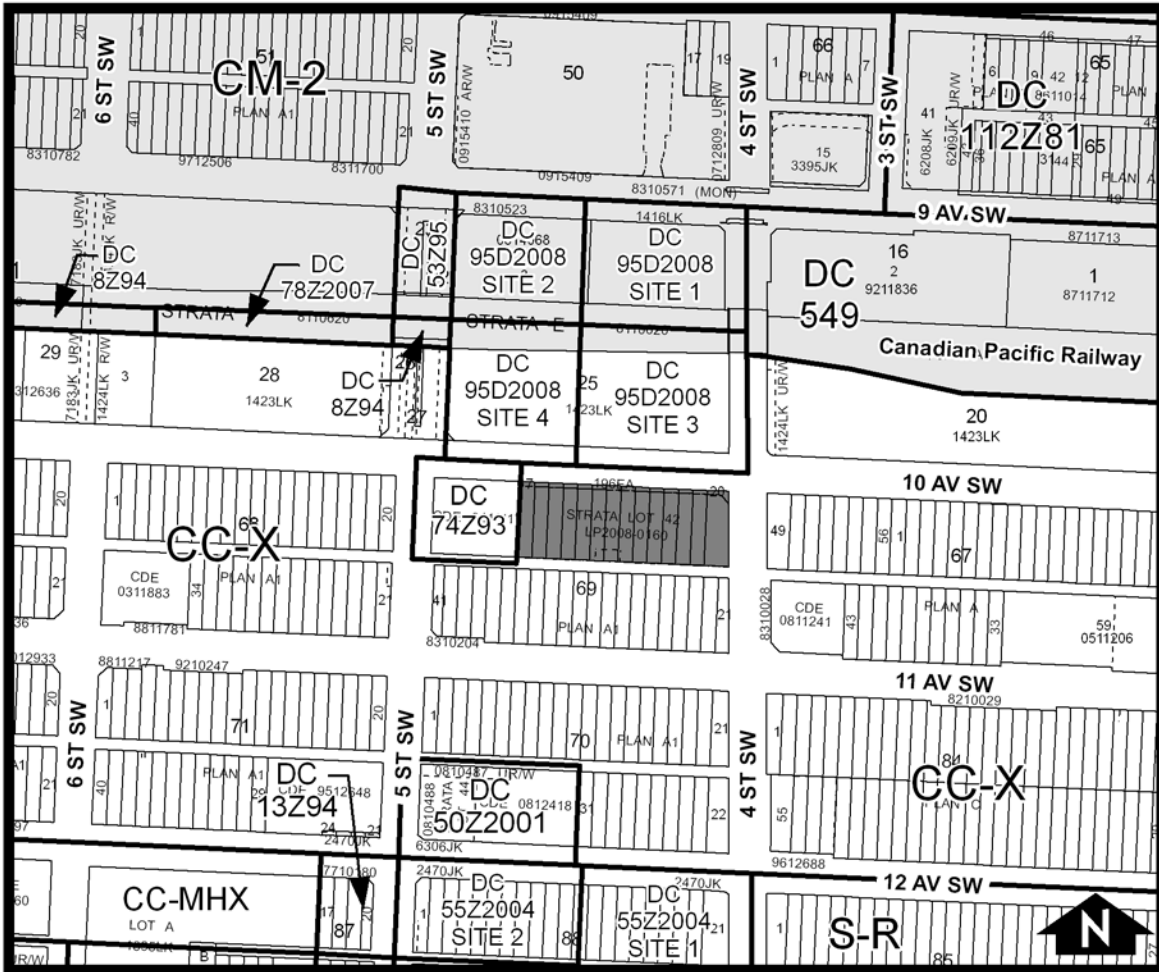


**REPORT TO THE CALGARY PLANNING COMMISSION**

<b>DEVELOPMENT PERMIT</b>	<b>ITEM NO: 04</b>	
	FILE NO:	DP2011-3321
	CPC DATE:	2012 February 02

**BELTLINE**  
(Ward 8 – Alderman Mar)



**PROPOSAL:**  
10-Storey Office Building with Retail uses at-grade

<b>APPLICANT:</b> NORR Architects	<b>OWNER:</b> Centre 10 Corporation
<b>MUNICIPAL ADDRESS:</b> 517 and 521R - 10 Avenue SW	<b>LEGAL DESCRIPTION:</b> Plan 196EA, Block 69, Lots 6 to 20 (Map 16C)
<b>EXISTING LAND USE DISTRICT(S):</b> Centre City Mixed-Use District (CC-X)	
<b>AREA OF SITE:</b> 0.441 ha ± (1.09 ac ±)	
<b>CURRENT DEVELOPMENT:</b> Under Construction (mixed used development)	

**ADJACENT DEVELOPMENT:**

NORTH: Surface Parking Area  
 SOUTH: Commercial ( 12-storey office building)  
 EAST: Commercial (1-2 storey commercial block)  
 WEST: Residential (5-storey residential building)

<b>DEVELOPMENT SUMMARY</b>			
<b>RULE</b>	<b>BYLAW STANDARD</b>	<b>PROPOSED</b>	<b>RELAXATION</b>
<b>DENSITY</b>	Maximum - Commercial (5.0 F.A.R - commercial)  Maximum Commercial with bonusing: (8.0 F.A.R)	7.91	None. Bonusing provided.
<b>HEIGHT</b>	None.	38 metres	None.
<b>YARDS (BUILDING SETBACK)</b>	Front: (1.5 metres min. – 6.0 metres max.)  Rear: N/R	Front: 0.20 metres	1.30 metres
<b>PARKING</b>	285 (office & retail)	744	None
<b>LANDSCAPING</b>	30 percent (minimum)	23.38 percent	6.62 percent
<b>EXTERIOR FINISH MATERIALS</b> Walls: Curtain wall glass & spandrel system; blue tint Roof: Metal panel screening; zinc & charcoal grey. Windows: Clear Glazing (blue tint)			

<b>SUMMARY OF CIRCULATION REFEREES</b>	
<b>CPTED ASSESSMENT</b> Crime Prevention Through Environmental Design	Not Applicable
<b>ENVIRONMENTAL MANAGEMENT</b>	Not Applicable
<b>URBAN DESIGN REVIEW PANEL</b>	Comments attached as APPENDIX II
<b>COMMUNITY ASSOCIATION</b>  Beltline Planning Group	Comments in support attached as APPENDIX III

## **PLANNING EVALUATION**

### **Introduction**

The subject Development Permit Application proposes development of a 10-storey office building with retail uses at-grade, along with the portion of the below grade parking structure for commercial parking uses. The proposed development seeks to build on top of a foundation currently under construction, previously approved for a mixed-use residential/commercial development. Shortly after commencement of construction for a mixed use project approved as DP2005-3925, construction activity on the subject site was suspended by the owners due to market conditions. In 2010, the subject site was identified as one of 5 sites of interest within the downtown core as recognized by the report to Council (LPT2010-42, June 16, 2010) which provided provisions to potentially provide for temporary uses for the specified sites. The common circumstances found on each site pertained to (1) suspended construction activity and (2) the apparent risk of the “do nothing” approach to these suspended sites.

The subject site was subsequently purchased by the current owners who have chosen to pursue a development that is significantly different in both form and function of the originally approved development.

### **Site Context**

The subject site is located on the south-west corner of 10 Avenue SW and 4 Street SW, within a “Urban Mixed-Use” District (CC-X). The subject site is currently in the construction phase under the previous approval of a mixed-use 638 unit twin-tower podium development approved by the Calgary Planning Commission (DP2005-3925) on July 26, 2006. The proposed building has been sited in a manner that takes full advantage of the 100 metres frontage along 10 Avenue SW, being the principle public interface, with additional building interface provided along 4 Street SW, a span measuring 37 metres. The precinct in which the site is located is characterized by development which is predominantly commercial in nature found within various forms, densities and architectural expressions. The building’s principle frontage along 10 Avenue SW is identified within the Beltline ARP as “Boulevard”. Boulevards are envisioned as being dynamic, green linkages with high volumes providing for multiple movement modes, supported by a generous pedestrian environment while connecting major destinations within the Beltline and Downtown.

## Site Characteristics

The subject site is generally flat with no significant geographic features identified and is currently developed as a seven level parkade with partially constructed commercial uses at-grade.

## Legislation & Policy

Statutory policies of the Beltline Area Redevelopment Plan (ARP) provide direction for development of highest densities and range of uses with this area of the Beltline. The site resides within the “Urban Mixed-Use Areas” of the Beltline ARP. The intent of this policy is to allow for a wide range and mix of uses in many possible configurations, both within buildings and within the local context, resulting in vibrant pedestrian streets. Further, applicable objectives for these precincts include:

- *To provide for uses that serves the local and broader population.*
- *To ensure compatibility of adjacent uses, within and among buildings and properties, particularly with respect to residential uses.*
- *To promote building forms that respect the local context and interfaces with adjacent properties, including consideration of visible facades, decks, roofs, access points and balconies from various view points.*

### *Density Bonusing*

The subject site is found within the boundaries of Bonus Area ‘D’ of the Beltline ARP, where the maximum floor area ratio (FAR) is 8.0 with bonuses. The density of the proposed development has been calculated at 7.91 F.A.R.. Bonusing for the additional density in excess of 5.0 F.A.R is required. The Applicants have chosen to provide a contribution to the Beltline Community Investment Fund (BCIF) for the additional 2.91 F.A.R for which would be a “Prior to Release” condition of the subject Development Permit.

## Land Use District

The current land use district for the subject site is CC-X *Centre City Mixed Use District*. The CC-X district does not prohibit pure commercial development, rather, the stated purpose of these districts is to:

- *Provide for a mixed use development that is sensitive to adjacent districts.*
- *Provide for a building form that is street oriented at grade*
- *Has a maximum base density with the opportunity for a density bonus over and above base density to achieve commercial-residential mixed use, public benefit and amenities within the same community.*

The proposal has produced a building that is street oriented at grade. Eight commercial retail units have been provided at-grade in a rhythm that supports the form and function of both public frontages. The provisions of such retail at-grade provides the flexibility for a mix of non-office uses with an active street edge and interface that is pedestrian in nature.

## Site Layout & Building Design

The proposed mid-rise building is contemporary in nature according to the Applicant, and is well-suited for high-density commercial uses. The building takes advantage of its long linear frontage along 10 Avenue SW in providing for large office floorplates, well suited for corporate office uses that may potentially provide for an anchor commercial presence for the Beltline Community. The large rectangular floorplates, each measuring in at 3,268 square metres; suggest the building is to be used for large-scale office uses which provide for maximum flexibility for its tenants.

The building has been clad with spandrel & vision glass tinted in various hues of blue. Blue tinted glazing systems, as used in many other commercial buildings within the City, provide for a conservative expression and is found to have regard for its local context. To mitigate the long and monolithic nature of the building facades, Administration emphasized the need to aggregate the massing, in a manner that provides a finer grain rhythm that responds appropriately to its context. In response, the design provides vertical variations in the building through strategic details in the patterning of the curtain wall system.

The reflectivity of the glazing system has been carefully analyzed by both Administration and the Applicants. The principle façade (fronting 10 Avenue SW) is north facing which would not result in a significant exposure to direct sunlight; merely light being reflected from buildings across the avenue. Serious considerations were made to mitigate the adverse impacts of the 'mirror effect' of glazing systems. Subtle tinting has been used for the five forms of tinting used for the spandrel and vision glazing systems. Details provided by the Applicant show a coefficient of reflectivity to be under 0.3 for the proposed glazing systems. Administration finds this to be a moderate level of reflectivity that will not result in significant adverse impacts related to fatal light issues and the principles in providing for bird friendly development.

For further consideration, the subject site will be within the shadows cast by the 12 storey commercial buildings directly to the south. The Applicant's narrative detailing inspiration/aspirations for the proposal is attached as Appendix V.

## Urban Design Review Panel

A comprehensive review of the proposed building's relationship with the public realm has been provided by the Urban Design Review Panel. Below are the comments provided by the Panel along with the Applicant's response.

Comment	Applicant Response
<p><b>The panel acknowledges and supports the Applicant's aspiration for a light and lacy, contemporary aesthetic as illustrated in the precedent images. The panel is not convinced that the aspiration for visual lightness and transparency has been achieved.</b></p>	<p>The objective of a "light and lacy contemporary aesthetic" has primarily been addressed through the detailing of the slab edge. On the principal north and east facades, the slab edge detail will create an opaque glass panel the thickness of the slab itself (approximately 250mm) thereby leaving the remainder of the glass façade transparent. The delicate balance is to select glass colours that are transparent enough to achieve the "lightness" while still having an appropriate shading coefficient to reduce solar gain. Refer to the revised elevations with specific glazing types located on the elevations and the sample board for this test.</p>

<p><b>The bird friendly guidelines should be acknowledged in the design solution. The panel feels that the current proposal for glass colour and reflectivity do not support the aspirations of the guideline</b></p>	<p>To address the panels concerns, the Applicant has added variety in the glass colours creating a patterning that will break the simplicity of the glass façade and decrease the “reflective” nature of the overall look. Considerations for a lightly fritted glass at the base of the building have also been incorporated in the revised plans. Light coloured “mechoshade” style blinds are to be installed throughout the building which will also decrease the transparency. This of course may conflict with the “light and Lacy contemporary aesthetic” sought, therefore it is a delicate balance between transparency and an opaque “bird friendly” facade. In addition the Applicants are proposing to install motion sensors and timers to eliminate unnecessary night lighting and are seeking to install LED highlighting on the principal vertical elements for migratory season clarity (refer to the night renderings).</p>
<p><b>The panel recommends that the required bicycle racks be removed from the face of the building and moved to the tree alignment.</b></p>	<p>Applicants agree with this recommendation and will comply subject to Administration’s endorsement.</p>
<p><b>The panel has concerns regarding the detailed resolution of the corner on 4 Street and 10 Avenue. For example the plan configuration of the stairs could be improved and the depth of the stair treads could be increased. The panel recognizes that there are some costs associated with reconfiguring the existing condition and feels that this would be very valuable to the success of the urban realm.</b></p>	<p>The Applicants have added an entrance canopy in this location to enhance the prominence of this entrance location and will consider reworking the stair treads during detailed working drawings.</p>
<p><b>In keeping with the Applicants aspiration for a light and contemporary aesthetic the panel encourages the Applicant to greatly simplify the expression and articulation of the base. This includes a more detailed resolution of the main entry on 10 Avenue.</b></p>	<p>The Applicants have redesigned the base of the building to create a much more lighter and contemporary feel by eliminating the column expression in every second structural bay and thinning all the mullions at the base for greater transparency.</p>
<p><b>The panel recommends that the Applicant consider design solutions that provide a greater level of transparency and building access on the southeast corner. This could include relocating the parkade intake air louver further to the west.</b></p>	<p>Unfortunately parkade louvre intake is an existing condition at-grade from the previous application, currently under construction. However the applicants have added a door and canopy to enhance the pedestrian friendliness of this location.</p>

## **Environmental Site Assessment (ESA)**

An Environmental Site Assessment was not required.

## **Landscaping**

A combination of soft and hard landscaping on site has been provided on the second level and roof level. Landscaping on the second level has been provided along the western extent of the building edge and wraps around the southern extent, facing the lane. These areas have been lined with raised planters which provide some visual screening. These areas provide for open-area amenity spaces for tenants and contribute to the requirements for landscaping found in the requirements for the CC-X district. Hard landscaping comprises the vast majority of these areas. 10 Avenue SW has been preserved as a significant East-West pedestrian connection through the Beltline Community and enhanced with appropriate hard and soft landscaping.

At-grade, the public realm has been enhanced with non-standard surfacing treatment and street trees along the public realm. While no direct public amenities are being provided on the subject site, the contribution to the Beltline Community Investment Fund through bonusing initiatives does ensure that these items will be provided upon the determination of community stakeholders, at strategic locations within the Beltline community.

## **Site Access & Traffic**

Vehicular ingress and egress is provided from the lane, located along the southern extent of the site, from 4 Street SW. All back-of-house functions and vehicular access are located along the laneway which is to be paved to the City's standard. Waste bins are to be pulled out and picked upon the lane. Tenth Avenue SW has been preserved as a significant East-West pedestrian connection through the Beltline Community and enhance with appropriate hard and soft landscaping.

## **Parking**

Required vehicular parking has been provided on site within seven sub-grade levels, for a total of 744 stalls. The required number of parking stalls for the sum of the uses on site is 285 stalls. The 486 surplus stalls are to be used for short and long term commercial parking stalls in a 50/50 split.

## **Site Servicing for Utilities**

Servicing to the subject lands is available.

## **Environmental Sustainability**

The Applicants have submitted a LEED table as shown in Appendix IV outlining the points of sustainability that can potentially be incorporated should LEED be pursued at another time.

## **Community Association Comments**

Comments from the Beltline Planning Group in support of the subject application have been received.

### **Adjacent Neighbour Comments**

No comments received.

### **CONCLUSION:**

The proposal is supported for the following reasons:

1. The subject application conforms to the general and specific goals of the Beltline Area Redevelopment Plan in accommodating commercial development of varied forms and functions.
2. Administration finds that the proposed development meets the purpose and intent of the "Urban Mixed-Use" area of the Beltline in providing for a building form that supports both the present and future context as envisioned in the Beltline ARP.

### **CORPORATE PLANNING APPLICATIONS GROUP RECOMMENDATION:      **APPROVAL****

Recommend that Calgary Planning Commission **APPROVE** the application with the following conditions:

### **Prior to Release Requirements**

If this Development Permit is approved, the following requirements shall be met prior to the release of the permit. All requirements shall be resolved to the satisfaction of the Approving Authority:

#### **Planning:**

1. Submit a total of 7 complete sets of amended plans (file folded and collated) to the Planning Generalist that comprehensively addresses all of the prior to release conditions of all Departments. In order to expedite the review of the amended plans; one plan set shall highlight all of the amendments. Please ensure that all plans affected by the revisions are amended accordingly. In the event that the prior to release conditions are not resolved, a recirculation fee may be applied.
2. Contribution to the Beltline Community Investment Fund (BCIF) is to be submitted for the additional 2.91 F.A.R approved for the subject application at the applicable rate.

#### **Urban Development:**

3. Amend the plans to:

##### Roads

##### Tree Trench

- a. Provide a separated trench for the isolated tree adjacent to 4 Street SW.



- b. Amend all relevant plans (site plan, L100, L200, etc.) so that the charcoal finish is widened by 425mm from edge of trench grate.

***For further details, contact the Roads Design and Development Technologist at 403-268-3801.***

4. Remit a performance security deposit (certified cheque, bank draft, letter of credit) for the proposed infrastructure listed below within the public right-of-way to address the requirements of the Business Unit. The amount of the deposit is calculated by Roads and is based on 100 percent of the estimated cost of construction.

The developer is responsible to arrange for the construction of the infrastructure with their own forces and to enter into an Indemnification Agreement with Roads at the time of construction (the security deposit will be used to secure the work).

#### Roads

- a. Construction of new sidewalks adjacent to the subject site
  - b. Construction of new curb and gutter adjacent to the development site
  - c. Construction of concrete lane paving to City standards (for roll-out waste, etc.)
  - d. Rehabilitation of existing driveway crossings, sidewalks, curb and gutter, etc., should it be deemed necessary through a site inspection by Roads personnel
5. Remit payment (certified cheque, bank draft) for the proposed infrastructure listed below within the public right-of-way to address the requirements of the Business Units. The amount is calculated by the respective Business Unit and is based on 100 percent of the estimated cost of construction.

The developer is responsible to coordinate the timing of the construction by City forces. The payment is non-refundable.

#### Roads

- e. Street lighting upgrading adjacent to the subject site

#### **Transportation:**

6. Amend plans so that 769 total parking stalls are shown and 446 surplus parking stalls are assigned and labelled in the following fashion:
  - 223 long-stay commercial pay parking stalls
  - 223 short-stay commercial pay parking stalls
7. Provide bicycle parking on the Site Plan, in accordance with Land Use Bylaw 1P2007 and the City of Calgary's Bicycle Parking Handbook as follows:
  - All bicycle parking stalls must be located within property boundaries, outside of the bylawed setback area
    - Class 2 (short-stay) bike parking stalls shall be provided within the property of the development, not within public right of way.
    - Orient bicycle racks parallel to the curb to limit the impact on pedestrian clear walking width.

- Show rack design details for the Class 1 (secure) storage facility. Please ensure that each bicycle parking stall must be designed to:
  - allow a bicycle frame and both wheels to be secured with a standard U-lock
  - support the bicycle frame and both wheels
- Locate Class 2 bicycle (short-stay) parking stalls within 15 metres of a main entrance.
- Provide a 0.6m separation distance between bicycle parking stalls and any physical barriers, including other bicycle parking stalls
- Class 2 bicycle parking (short-stay) shall be located in a well-lit and highly visible location to ensure security and personal safety and must not interfere with a pedestrian walkway.
- Class 2 bicycle parking (short-stay) should be protected from the weather where possible by an overhang, an awning or a freestanding roof.

For additional information, please contact (Jakub Lisowski at 403-268-5455).

#### **Parks:**

None

#### **Permanent Conditions**

If this Development Permit is approved, the following permanent conditions shall apply:

#### **Planning:**

8. The development shall be completed in its entirety, in accordance with the approved plans and conditions.
9. No changes to the approved plans shall take place unless authorized by the Development Authority.
10. A Development Completion Permit shall be issued for the development; **before the use is commenced or the development occupied**. A Development Completion Permit is independent from the requirements of Building Permit occupancy. Call Development Inspection Services at 403-268-5491 to request a site inspection for the Development Completion Permit.

#### **Urban Development:**

11. The subject parcels shall be consolidated onto a single title.
12. Single retaining walls 1.2m in height or greater or terraced retaining walls 1.2m in height or greater with a horizontal separation between walls of less than 3.6m (3x height) require the approval of a Building Permit prior to construction.

For retaining wall(s) that meet these criteria, the developer may either:

- a. Include the retaining walls with the Building Permit for the building, or
- b. Apply for a separate Building Permit for the retaining walls.

It should be noted that the Building Permit for the building on site will not be released until the separate Building Permit for site retaining walls is approved.

13. If **during construction** of the development, the developer, the owner of the titled parcel, or any of their agents or contractors becomes aware of any contamination, the person discovering such contamination shall immediately report the contamination to the appropriate regulatory agency including, but not limited to, Alberta Environment, Alberta Health Services and The City of Calgary (311).  
  
If **prior to or during construction** of the development, the developer, the owner of the titled parcel, or any of their agents become aware of contamination on City of Calgary lands or utility corridors, the City's Environmental Assessment & Liabilities division shall be immediately notified (311).
14. The developer shall be responsible for the cost of public work and any damage during construction in City road right-of-ways, as required by the Manager, Urban Development. All work performed on public property shall be done in accordance with City standards.
15. Canopies and awnings located within the bylaw setback and/or City road right-of-way shall be removed at the owner's expense within 30 days of the City of Calgary giving notice, as per the Streets Bylaw 20M88, Section 59.
16. Indemnification Agreements are required for any work to be undertaken adjacent to or within City rights-of-way, bylawed setbacks and corner cut areas for the purposes of crane operation, shoring, tie-backs, piles, surface improvements, lay-bys, utility work, +15 bridges, culverts, etc. All temporary shoring, etc., installed in the City rights-of-way, bylawed setbacks and corner cut areas must be removed to the satisfaction of the Manager of Urban Development, at the Applicant's expense, upon completion of the foundation. Prior to permission to construct, contact the Indemnification Agreement Coordinator, Roads at 403-268-3505.
17. The developer / project manager, and their site designates, shall ensure a timely and complete implementation, inspection and maintenance of all practices specified in erosion and sediment control report and/or drawing(s) which was submitted to Water Resources for review and acceptance. Any amendments to the ESC documents must be reviewed and approved by Water Resources in advance by contacting the ESC inspector that reviewed the documents or by contacting the Water Resources Erosion Control Coordinator at 403-268-2655. For other projects where an erosion and sediment control report and/or drawings have not been required at the Prior to Release stage, the developer, or their designates, shall, as a minimum, develop an erosion and sediment control drawing and implement good housekeeping practices to protect onsite and offsite storm drains, and to prevent or mitigate the offsite transport of sediment by the forces of water, wind and construction traffic (mud-tracking) in accordance with the current edition of The City of Calgary Guidelines for Erosion and Sediment Control ([www.calgary.ca/waterservices/esc](http://www.calgary.ca/waterservices/esc)). Some examples of good housekeeping include stabilization of stockpiles, stabilized and designated construction entrances and exits, lot logs and perimeter controls, suitable storm inlet protection and dust control.

For **all soil disturbing projects**, the developer, or their representative, shall designate a person to inspect all erosion and sediment control practices a minimum of every seven (7) days and during, or within 24 hours of, the onset of significant precipitation (> 12 mm of rain in 24 hours, or rain on wet or thawing soils) or snowmelt events. Note that some practices may require daily or more frequent inspection. Erosion and sediment control practices shall be adjusted to meet changing site and winter conditions.

18. Contact the Erosion Control Inspector, Water Resources, with at least two business day's notice, to set up a pre-construction meeting prior to commencement of stripping and grading. Locations north of 17 Avenue S should contact 403-268-4913. Sites south of 17 Avenue S should contact 403-268-1847.
19. Stormwater runoff must be contained and managed in accordance with the "Stormwater Management & Design Manual" all to the satisfaction of the Director of Water Resources.
20. The grades indicated on the approved Development Permit plans must match the grades on the Development Site Servicing Plan for the subject site as per the Lot Grading Bylaw.
21. No trees, shrubs, buildings, permanent structures or unauthorized grade changes are permitted within the utility rights-of-way.
22. The encroachment(s) (bike racks, etc.) located within the bylaw setback shall be removed at the owner's expense within 30 days of the City of Calgary giving notice.

**Transportation:**

None.

**Parks:**

23. Any tree planting in the City boulevard shall be performed and inspected in accordance with Parks Development Guidelines and Standard Specifications – Landscape Construction (current edition). Applicant is to contact the Parks Development Inspector at 403-268-4760.

Joseph Yun  
2012/February 23



# CENTRE 10

515 & 517 - 10th AVENUE SW, CALGARY, AB  
CENTRON GROUP OF COMPANIES

## DEVELOPMENT PERMIT APPLICATION

NORR JOB NO. NCCA-110089

ISSUED FOR DEVELOPMENT PERMIT:  
REV.1 DP RE-SUBMISSION DTR1:  
REV.2 DP RE-SUBMISSION DTR2:  
AUGUST 26, 2011  
OCTOBER 26, 2011  
JANUARY 09, 2012

### ARCHITECTURAL

**NORR ARCHITECTS PLANNERS**  
1001 - 10th Avenue SW  
Calgary, Alberta T2C 0V9  
PHONE: 403.269.7215  
WWW.NORR.COM

- DP 500 COVER SHEET
- DP 101 SITE PLAN (SITE LOCATION) STATISTICS
- DP 102 WASTE & RECYCLING STORAGE ROOM & LOADING/STAGING
- DP 200 FLOOR PLAN (PARKADE LEVEL P1)
- DP 202 FLOOR PLAN (PARKADE LEVEL P2 TO P6) - TYPICAL
- DP 204 FLOOR PLAN (PARKADE LEVEL P7)
- DP 206 FLOOR PLAN (LEVEL 2) - MAIN FLOOR
- DP 207 FLOOR PLAN (LEVEL 3 TO 10) - TYPICAL
- DP 300 MECHANICAL, PENTHOUSE
- DP 301 ELEVATIONS
- DP 302 ELEVATIONS
- DP 304 ELEVATION DETAILS (CORNER, CANOPY, SCANGEL, EXTERIOR LIGHTING)
- DP 401 BUILDING SECTION (CANOPY DETAILS)

### LANDSCAPE

**SCATLUFF + MILLER + MURRAY**  
1001 - 10th Avenue SW  
Calgary, Alberta T2C 0V9  
PHONE: 403.269.7215

- L100 LANDSCAPE LAYOUT LEVEL 1 - MAIN FLOOR
- L200 LANDSCAPE DETAILS
- L300 LANDSCAPE LAYOUT LEVEL 2 - SECOND FLOOR
- L400 LANDSCAPE LAYOUT (ROOF TOP PATIO)

### MECHANICAL

**HEMISPHERE ENGINEERING INC.**  
1001 - 10th Avenue SW  
Calgary, Alberta T2C 0V9  
PHONE: 403.269.7215

### ELECTRICAL

**SMP CONSULTING ELECTRICAL**  
1001 - 10th Avenue SW  
Calgary, Alberta T2C 0V9  
PHONE: 403.269.7215

### STRUCTURAL

**TFL & ASSOCIATES**  
1001 - 10th Avenue SW  
Calgary, Alberta T2C 0V9  
PHONE: 403.269.7215

**NORR Architects Planners**  
1001 - 10th Avenue SW  
Calgary, Alberta, Canada T2C 0V9  
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NORR ARCHITECTS PLANNERS INC. (ALTA.)



<b>DATE</b> 2011 02 24	<b>ISSUED FOR</b> SUBMITTED FOR SUBMISSION
<b>DATE</b> 2011 02 24	<b>REVISION</b> REVISED FOR SUBMISSION
<b>DATE</b> 2011 02 24	<b>REVISION</b> REVISED FOR SUBMISSION

The owner has been advised that, for the purpose of this site plan, the City of Calgary does not require a separate site plan for the proposed building. The owner is responsible for ensuring that the proposed building meets all applicable codes and regulations.




**NORR Architects Planners**  
1100 10th Street SW  
Calgary, Alberta T2P 1K1  
Phone: (403) 243-1111  
Fax: (403) 243-1112  
www.norr.ca

**centron**  
Group of Companies  
115 & 517 - 10th Avenue SW  
Calgary, AB  
T2P 1K1  
Phone: (403) 243-1111  
Fax: (403) 243-1112

**02 DP101**

### LEGAL DESCRIPTION

PORTIONS OF LOTS 20 & 21  
BLOCK 10  
SECTION 16  
RANGE 103  
MERIDIAN 10  
CITY OF CALGARY, ALBERTA

115 & 517 - 10th Avenue SW  
CALGARY, AB

LAND USE: COMMERCIAL  
SITE AREA: 4,520.00 sqm  
G.C.K. NO: 40170408  
R.S. NO: 419  
L.S. NO: 130

### LANDSCAPE AREAS

AREA: 115 & 517 - 10th Avenue SW  
LANDSCAPE AREA IN LANDSCAPE DRAWING

DATE: 2011 02 24  
BY: [Signature]

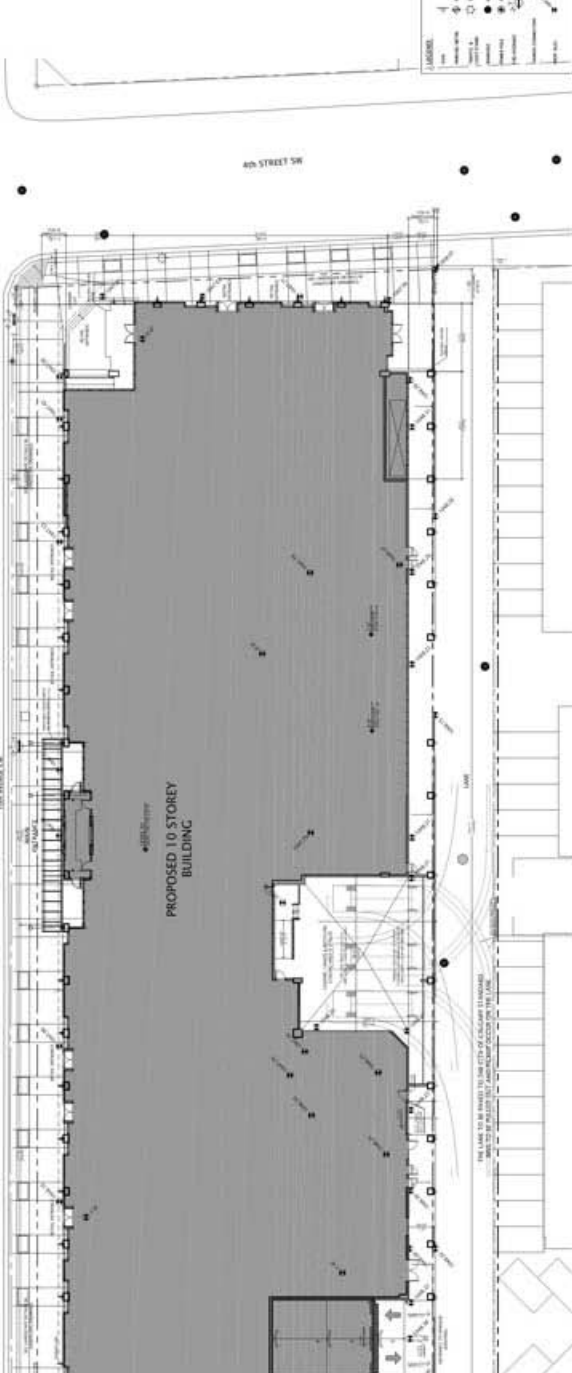
SCALE: 1:100

### PROPOSED BUILDING

PROPOSED 10 STOREY BUILDING

10th Avenue SW

4th Street SW



### LANDSCAPE AREAS

NO.	AREA (SQM)	PLANTING
1	1,500.00	100% TREES
2	1,000.00	50% TREES, 50% SHRUBS
3	2,000.00	100% SHRUBS

### PARKING CALCULATION

TYPE	AREA (SQM)	NO. OF SPACES
Surface	1,500.00	30
Structure	1,000.00	20
Other	2,000.00	40
<b>Total</b>	<b>4,500.00</b>	<b>90</b>

### BIKE PARKING

TYPE	AREA (SQM)	NO. OF SPACES
Surface	100.00	10
Structure	100.00	10
<b>Total</b>	<b>200.00</b>	<b>20</b>

### LANDSCAPE CALCULATION

NO.	AREA (SQM)	PLANTING
1	1,500.00	100% TREES
2	1,000.00	50% TREES, 50% SHRUBS
3	2,000.00	100% SHRUBS
<b>Total</b>	<b>4,500.00</b>	<b>100% TREES, 50% SHRUBS</b>

**02 DP101**

**SITE PLAN**

1:200



<b>DATE</b>	<b>ISSUED FOR</b>	<b>BY</b>
2011.02.24	ISSUED FOR SUBMISSION	
2011.02.24	REVISED FOR SUBMISSION (REV. 1)	
2011.02.24	REVISED FOR SUBMISSION (REV. 2)	

The project has been awarded under the provisions of the City of Calgary's Request for Proposals (RFP) for the design and construction of a waste and recycling storage room and loading/staging area. The drawings are prepared in accordance with the City of Calgary's Standard Specifications for Construction. The drawings are prepared in accordance with the City of Calgary's Standard Specifications for Construction. The drawings are prepared in accordance with the City of Calgary's Standard Specifications for Construction.

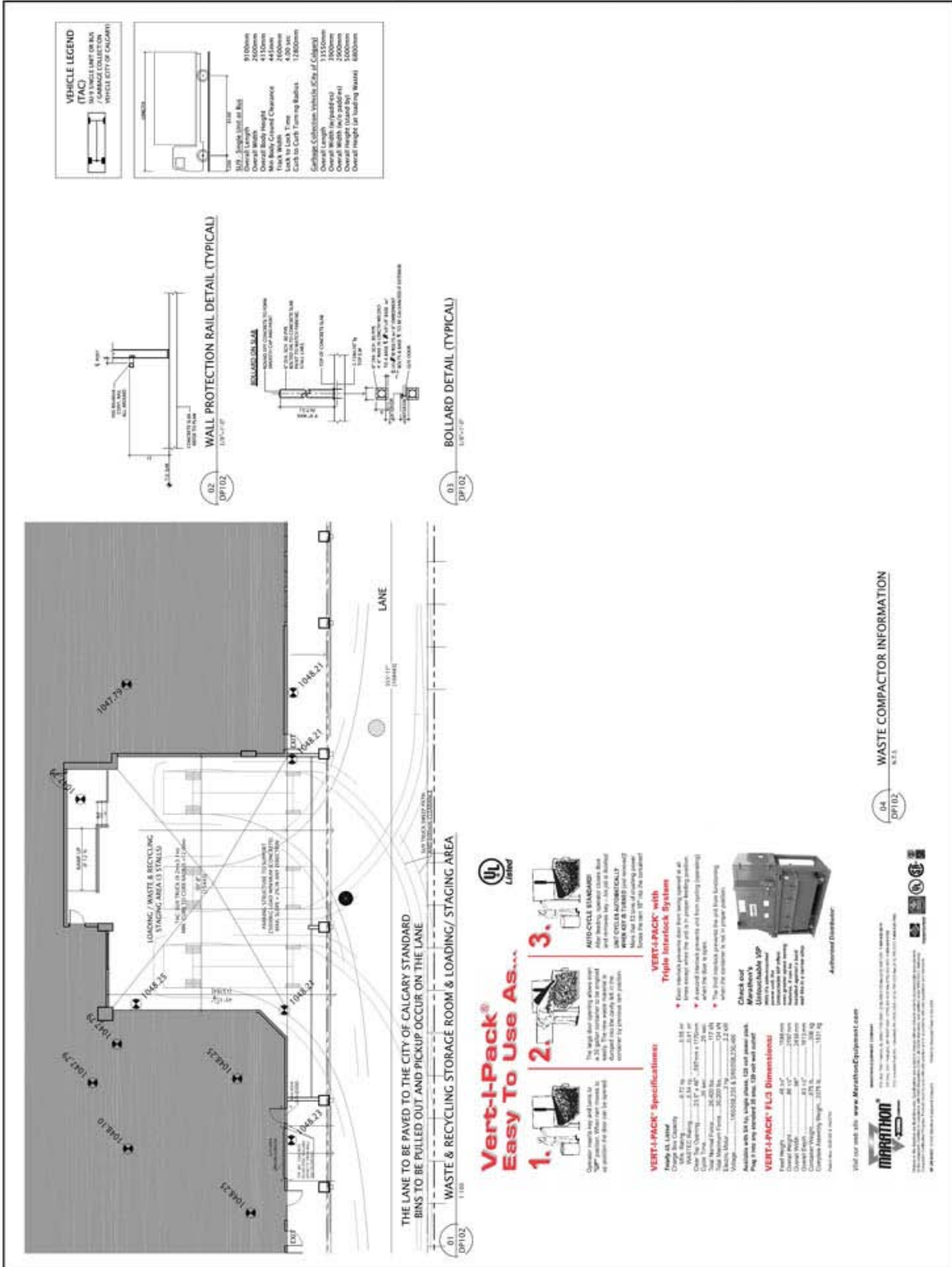
**centron**  
Civil/Structural  
DETAIL SHEET

**NORR Architects Planners**  
1000 - 10th Street, S.W.  
Calgary, Alberta T2P 1C1  
Canada  
Tel: 403.243.2111  
Fax: 403.243.2112  
www.norr.ca

**CENTRON**  
Group of Companies  
CENTRE 10  
515 & 517 - 10th Avenue SW  
Calgary, AB

**WASTE & RECYCLING STORAGE ROOM & LOADING/STAGING**

Checked by: [Name]  
Drawing No: DP102



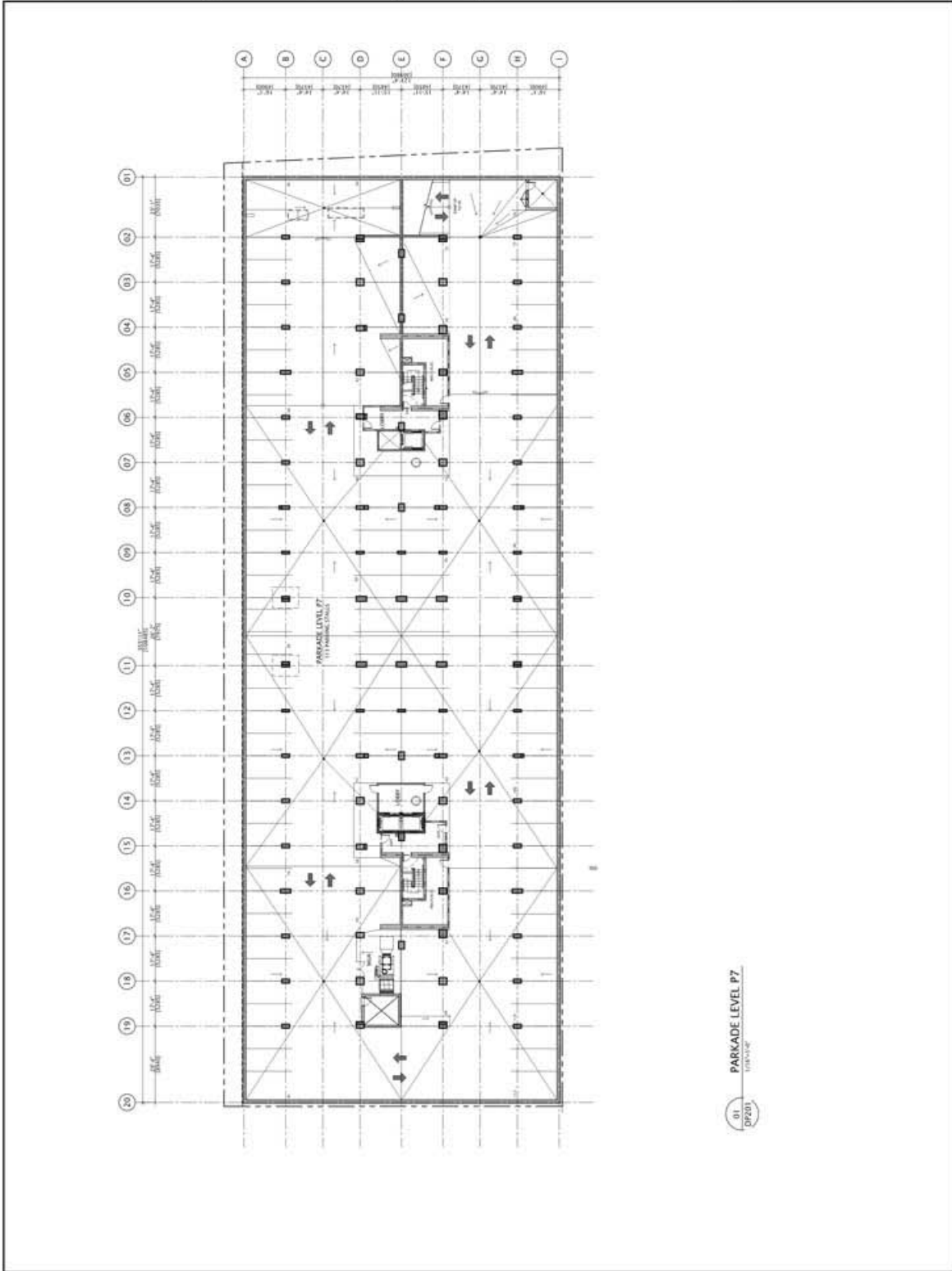
<b>DATE</b> 2011 02 24	<b>ISSUED FOR</b> SUBMITTED FOR SUBMISSION	<b>REV</b>
2011 02 24	REVISED FOR SUBMISSION	
2011 02 24	REVISED FOR SUBMISSION (REV. 1)	
2011 02 24	REVISED FOR SUBMISSION (REV. 2)	

The owner has been advised that, for the purpose of this document, the drawings are not to be used for construction. The drawings are intended for the purpose of obtaining a permit and for the purpose of providing information to the contractor. The drawings are not to be used for construction.

**centron**  
CENTRE 10  
Group of Companies  
115 & 517 - 10th Avenue SW  
Calgary, AB  
T2K 2E8  
Tel: 403.243.1111  
Fax: 403.243.1112  
www.centron.ca

**NORR**  
ARCHITECTS PLANNERS  
115 & 517 - 10th Avenue SW  
Calgary, AB  
T2K 2E8  
Tel: 403.243.1111  
Fax: 403.243.1112  
www.norr.ca

**PROJECT**  
CENTRE 10  
Group of Companies  
CENTRE 10  
115 & 517 - 10th Avenue SW  
Calgary, AB  
T2K 2E8  
FLOOR PLAN  
Parkade Level P7  
Checked by: [Signature]  
Scale: 1/8" = 1'-0"  
Drawing No. DP201





DATE ISSUED FOR PERMIT	DATE ISSUED FOR SUBMISSION	DATE ISSUED FOR PERMIT
2011 02 24	2011 02 24	2011 02 24
2011 02 24	2011 02 24	2011 02 24

**centron**  
Group of Companies

**DETAILED SHEET**

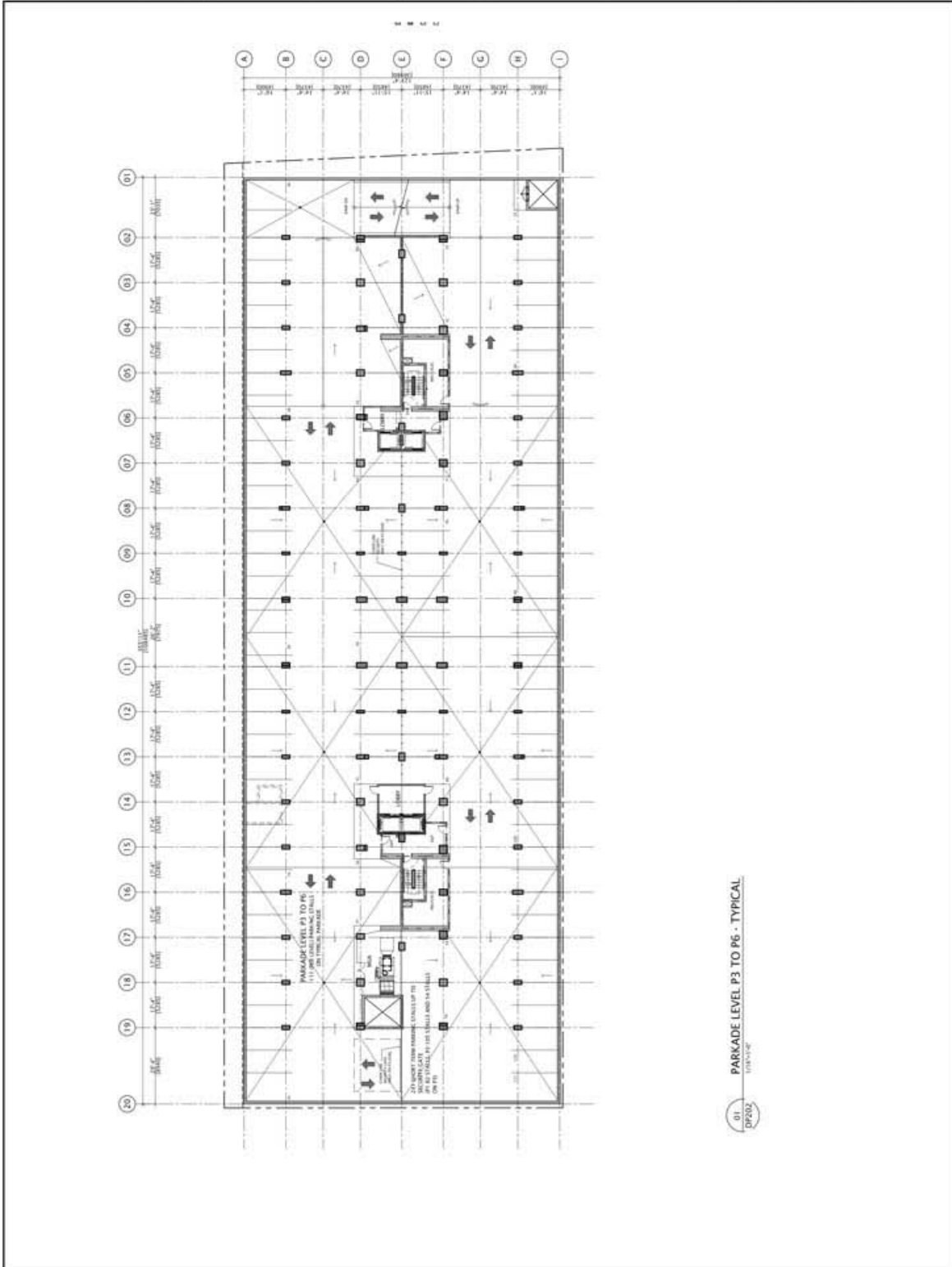
**NORR**  
ARCHITECTS PLANNERS

**NOBS Architects Planners**  
1100 101st Avenue SW  
Edmonton, Alberta T6C 0G8  
Canada T43 0000 F 403 200 2216

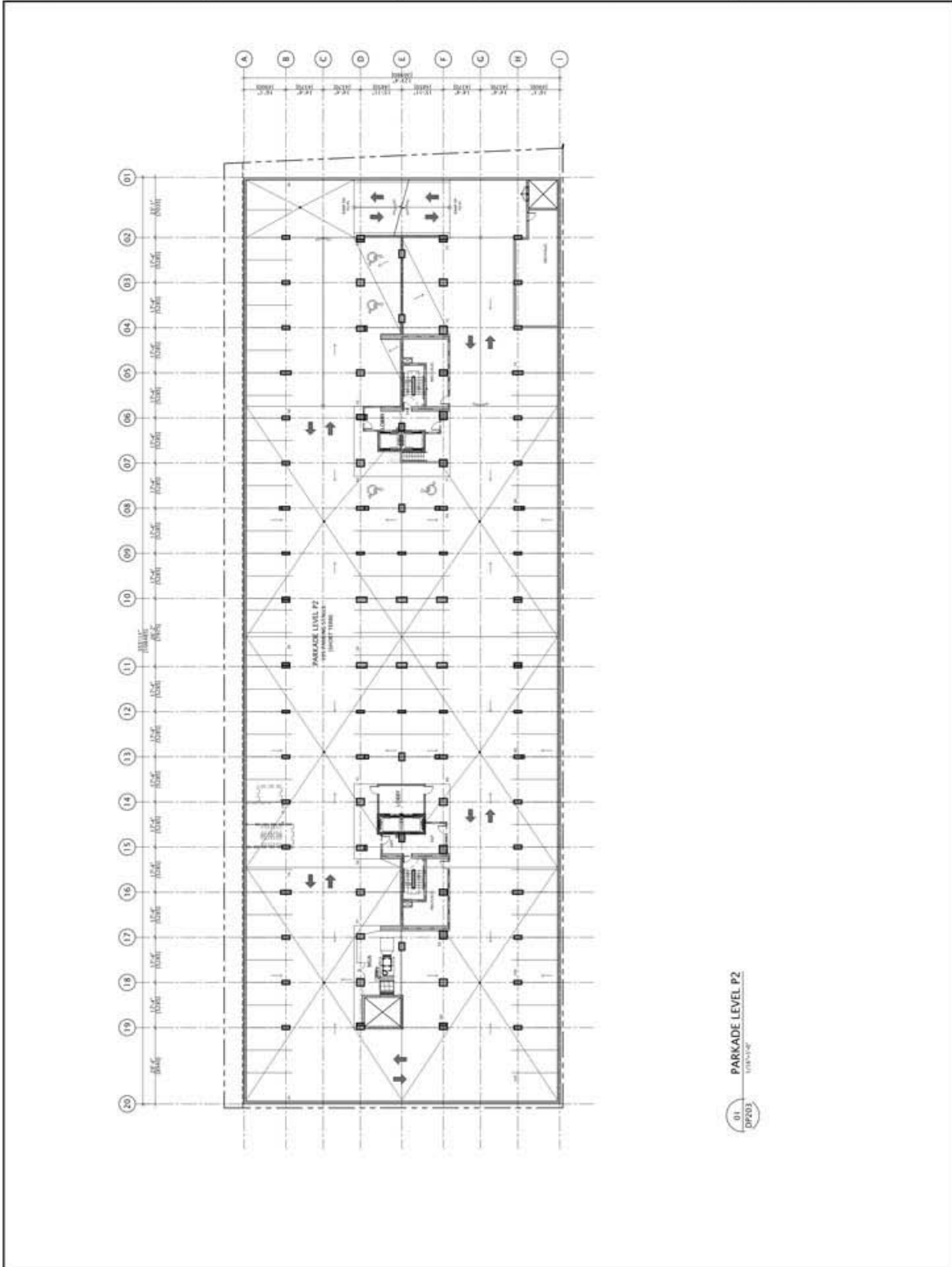
**Project:**  
CENTRE 10  
515 & 517 - 100th Avenue SW  
Calgary, AB

**FLOOR PLAN**  
PARKADE LEVEL P3 TO P6 - Typical

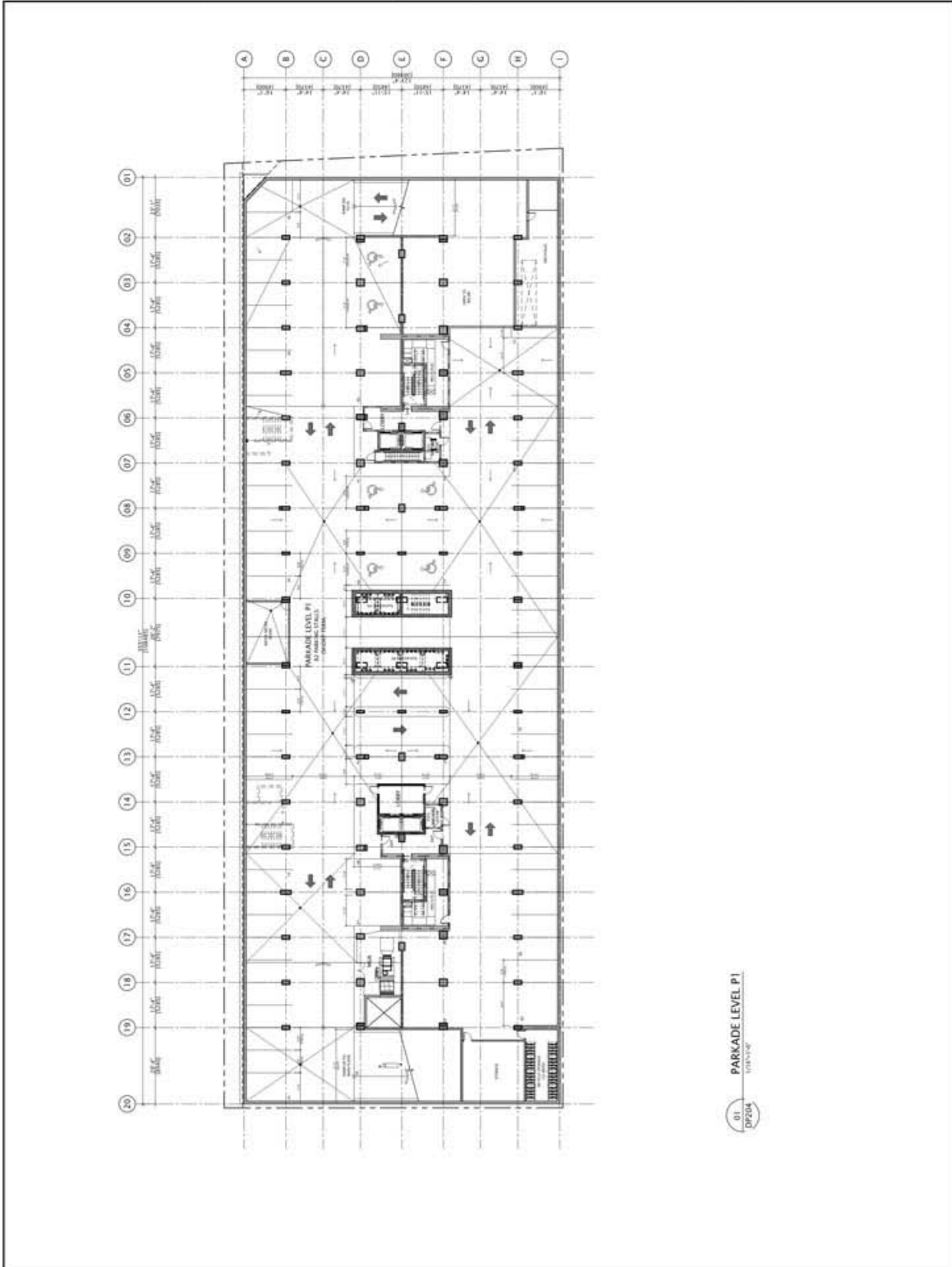
Checked by: [Signature]  
NCCA 110089  
Drawing No: DP202



<b>DATE</b> 2011 02 24	<b>DESIGNED FOR</b> SUBMITTED FOR SUBMISSION
<b>DATE</b> 2011 02 24	<b>REVISION</b> REVISED FOR SUBMISSION
<b>DATE</b> 2011 02 24	<b>REVISION</b> REVISED FOR SUBMISSION
<p>The owner has been advised that, for the purpose of this permit, the design is based on the information provided and that the design is not a guarantee of performance. The design is based on the information provided and is not a guarantee of performance. The design is based on the information provided and is not a guarantee of performance.</p>	
	
	
<p><b>NOBB Architects Planners</b> Architects, Planners, Engineers 115 &amp; 517 - 10th Avenue SW Calgary, AB T2C 1S5 Tel: 403.243.8800 Fax: 403.243.8811</p>	
	
<p><b>CENTRON</b> Group of Companies CENTRE 10 515 &amp; 517 - 10th Avenue SW Calgary, AB FLOOR PLAN PARKADE LEVEL P2</p>	
<p>Checked by: [Signature] NCCA 110089 Drawing No: DP203</p>	



<b>DATE</b> 2011.02.24	<b>DESIGNED FOR</b> SUBMITTED FOR PERMITS	  	<p><b>NOBB Architects Planners</b>          1100 10th Street, Suite 100          Calgary, Alberta T2C 1P5          Canada          Tel: 403.243.2222 Fax: 403.243.2215</p> <p><b>NORR</b>          ARCHITECTS INC.</p>
<b>DATE</b> 2011.02.24	<b>REVISION</b> REVISED FOR PERMITS		
<b>DATE</b> 2011.02.24	<b>REVISION</b> REVISED FOR PERMITS		



01 PARKADE LEVEL P1  
 DP2011-3321

DATE ISSUED FOR PERMIT	DATE ISSUED FOR SUBMISSION	DATE ISSUED FOR PERMIT
2011 02 24	2011 02 24	2011 02 24
2011 02 24	2011 02 24	2011 02 24
2011 02 24	2011 02 24	2011 02 24

The owner has been advised that the use of this drawing is limited to the project for which it was prepared. It is not to be used for any other project without the written consent of the architect or engineer.

**centron**

General Contract

**DETAIL SHEET**

Scale: 1/8" = 1'-0"

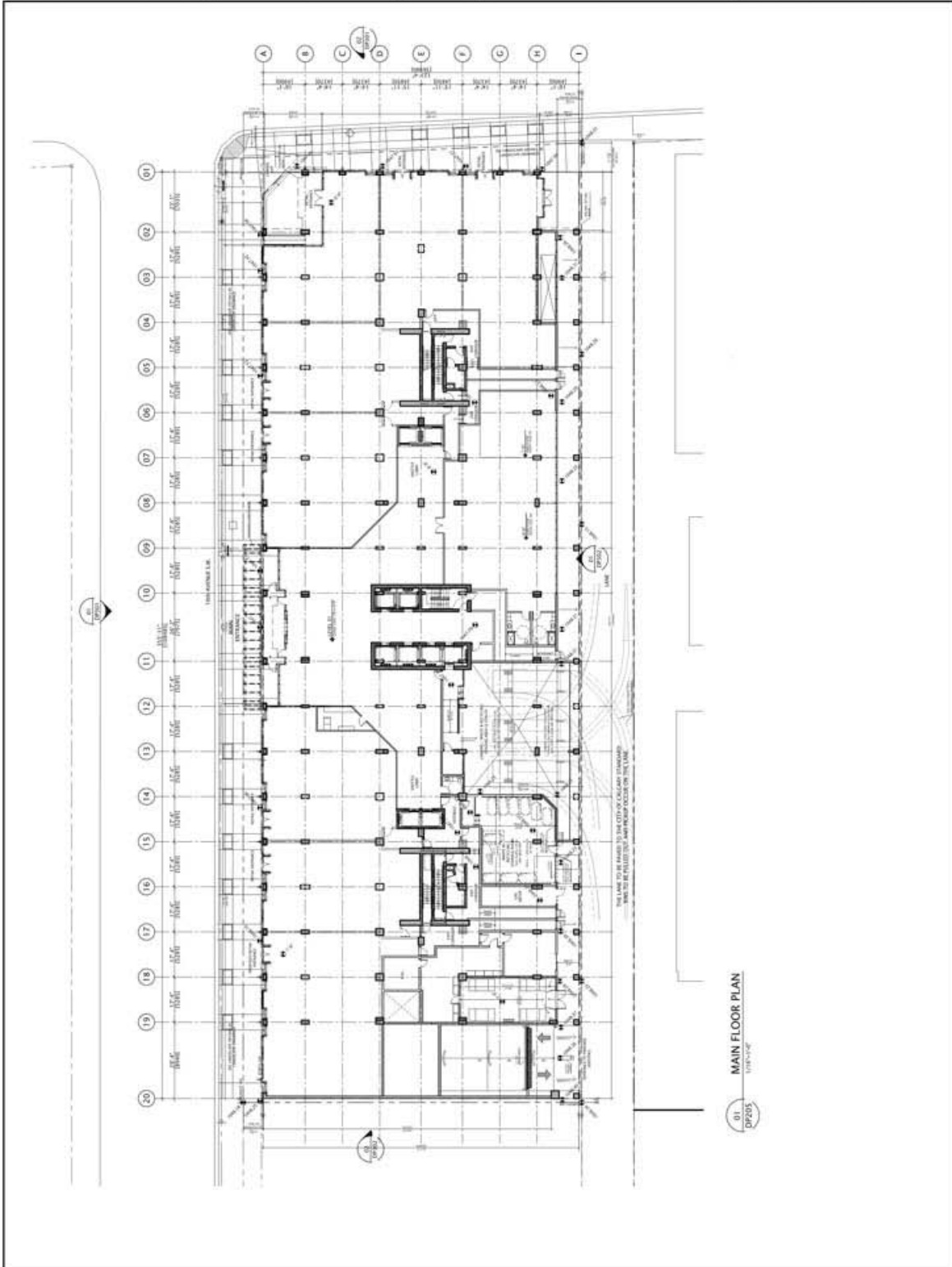
NOBB Architects Planners  
 1100 - 10th Avenue SW  
 Calgary, Alberta T2P 1G6  
 Phone: (403) 243-7700  
 Fax: (403) 243-7710  
 Email: info@nobb.com

**NORR**  
 ARCHITECTS INC.

Project: CENTRON  
 Group of Companies  
 CENTRE 10  
 515 & 517 - 10th Avenue SW  
 Calgary, AB

Drawn: [Name]  
 Checked: [Name]  
 Date: [Date]

Client: [Name]  
 Project No.: NCCA110089  
 Drawing No.: DP205



DATE ISSUED FOR RFP	2011 02 24
DATE ISSUED FOR SUBMISSION	2011 02 24
DATE RECEIVED FOR SUBMISSION	2011 02 24
DATE RECEIVED FOR SUBMISSION	2011 02 24

The owner has been advised that the use of these drawings for any purpose other than that intended by the architect is strictly prohibited. The architect is not responsible for any errors or omissions in these drawings. The architect is not responsible for any construction methods or materials not specified in these drawings. The architect is not responsible for any construction methods or materials not specified in these drawings. The architect is not responsible for any construction methods or materials not specified in these drawings.

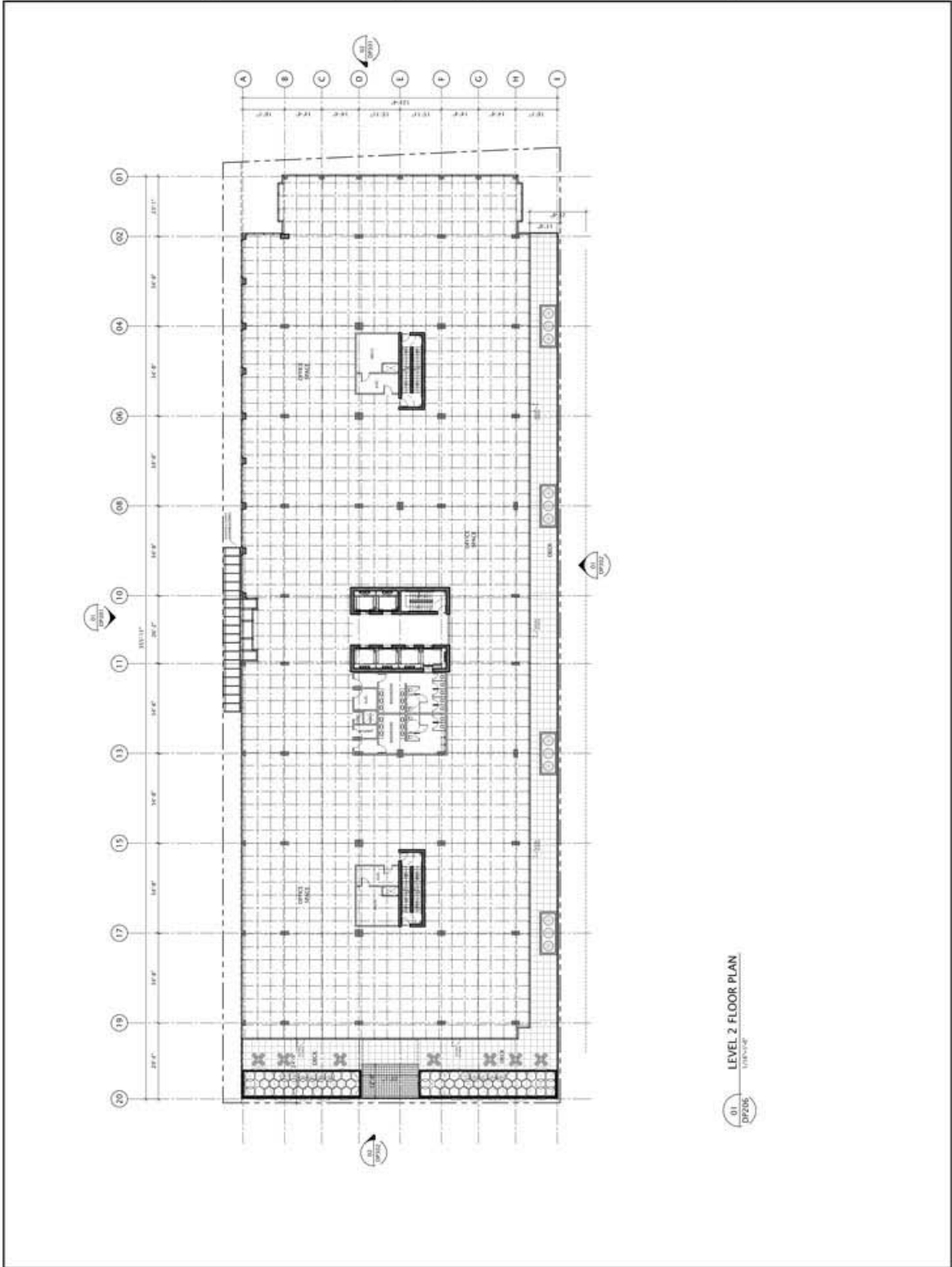
**centron**  
CENTRON GROUP OF COMPANIES

**DETAILED SHEET**

**NORR**  
NORR ARCHITECTS PLANNERS  
100-10115 100th Avenue NW  
Edmonton, Alberta T6E 1E1  
Canada  
Tel: 780.443.1111 Fax: 780.443.1112  
www.norr.ca

**CENTRON**  
Group of Companies  
CENTRE 10  
515 & 517 - 10th Avenue SW  
Calgary, AB  
T2P 1G4  
Canada  
Tel: 403.270.1111 Fax: 403.270.1112  
www.centron.ca

Checked by: [Signature] Date: [Date]  
NCCA 110089  
Drawing No: DP206



01 LEVEL 2 FLOOR PLAN  
DP206



DATE ISSUED FOR PERMITS	DATE ISSUED FOR CONSTRUCTION	DATE ISSUED FOR ALTERNATION (S)	DATE ISSUED FOR ALTERNATION (S)

The owner has been advised that the use of this permit is limited to the construction of the building shown on the drawings. Any other use of this permit is at the owner's risk. The owner is responsible for obtaining all necessary permits and approvals from the appropriate authorities. The owner is also responsible for ensuring that the construction is carried out in accordance with the drawings and any applicable laws and regulations.

**centron**  
Group of Companies

**DETAILS SHEET**

Scale: 1/8" = 1'-0"  
 1/4" = 1'-0"  
 1/2" = 1'-0"  
 3/4" = 1'-0"  
 1" = 1'-0"

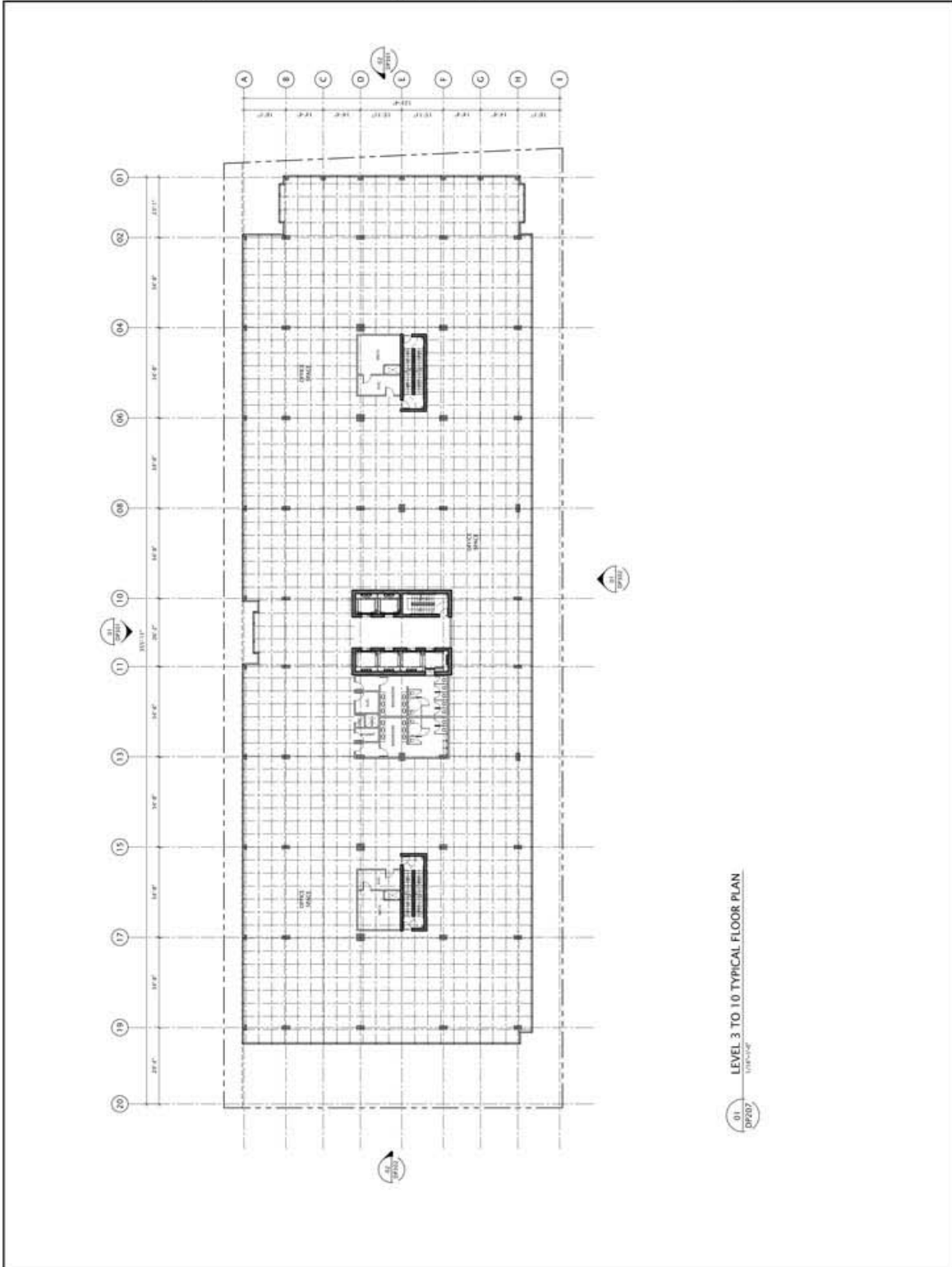
NOBS Architects Planners  
 1100 - 101st Avenue SW  
 Calgary, AB T2C 1P5  
 Phone: (403) 243-1111  
 Fax: (403) 243-1111  
 Email: info@nobs.ca  
 Website: www.nobs.ca

**NORR**  
 ARCHITECTS PLANNERS

Project: CENTRE 10  
 Group of Companies  
 515 & 517 - 10th Avenue SW  
 Calgary, AB

Checked by: [Signature]  
 Date: [Date]

Project No.: DP207



01  
 DP207  
 LEVEL 3 TO 10 TYPICAL FLOOR PLAN  
 1/8" = 1'-0"

DATE ISSUED FOR PERMITS	DATE ISSUED FOR SUBMISSION	DATE ISSUED FOR PERMITS
2011 02 24	2011 02 24	2011 02 24
2011 02 24	2011 02 24	2011 02 24
2011 02 24	2011 02 24	2011 02 24

The owner has been advised that the use of this drawing for any other project is strictly prohibited. The owner is responsible for ensuring that the drawing is used only for the project for which it was prepared. The owner is also responsible for ensuring that the drawing is used only for the project for which it was prepared.

**centron**  
Group of Companies

**DETAIL SHEET**

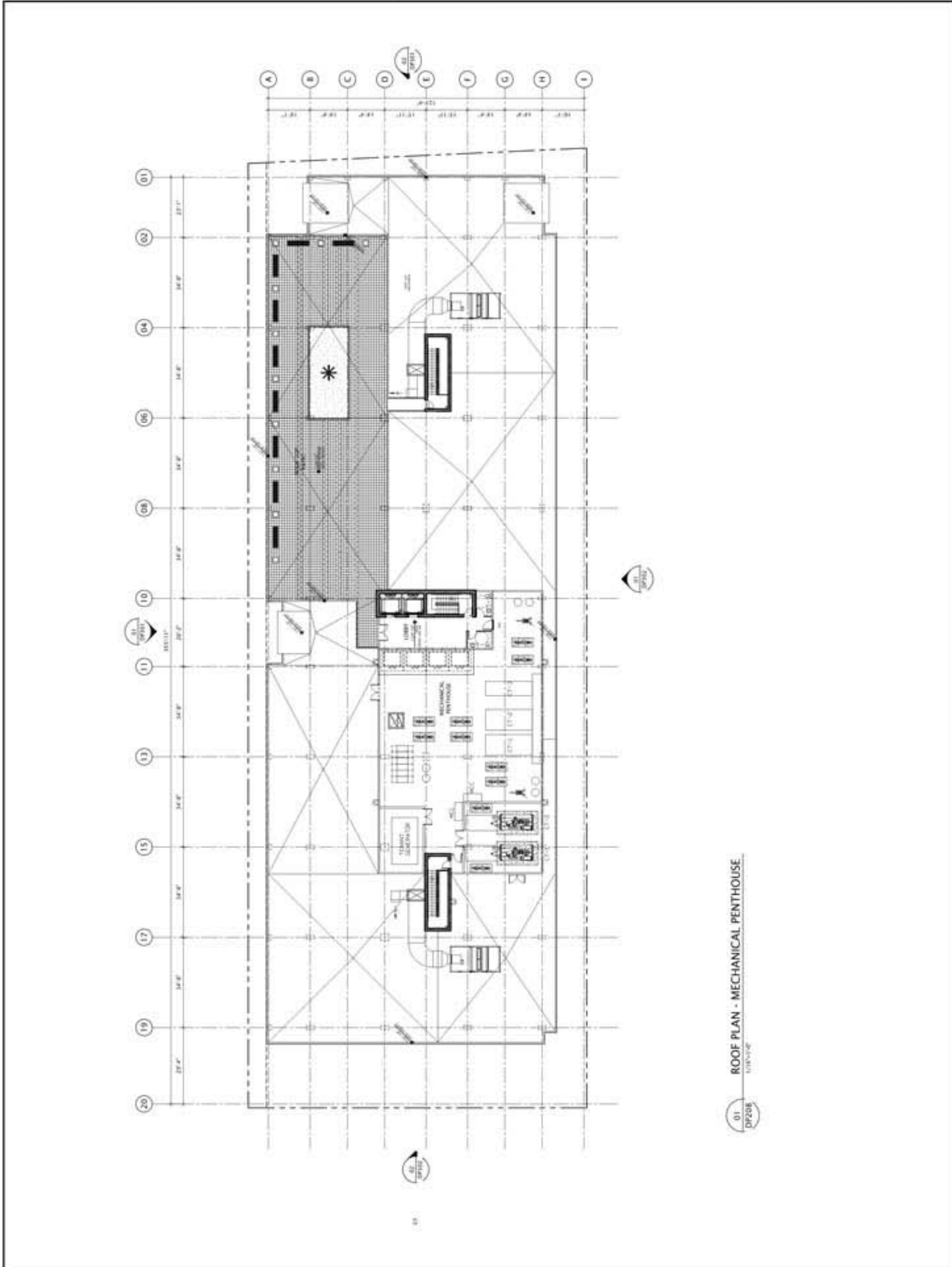
Scale: 1/8" = 1'-0"

NOBS Architects Planners  
1000 10th Street, Suite 100  
Calgary, Alberta T2C 1P5, Canada  
Tel: 403.243.8888 Fax: 403.243.7215

**NORR**  
ARCHITECTS PLANNERS

Project: CENTRE 10  
Group of Companies  
515 & 517 - 10th Avenue SW  
Calgary, AB  
Roof Plan  
Mechanical Penthouse

Checked by: [Signature]  
NCCA 110089  
Drawing No: DP208



01  
DP208  
1/8" = 1'-0"  
ROOF PLAN - MECHANICAL PENTHOUSE

DATE ISSUED FOR PERMITS 05/11/2011	ISSUED FOR PERMITS
DATE ISSUED FOR ALUMINATION 05/11/2011	ISSUED FOR ALUMINATION
DATE ISSUED FOR SIGNAGE 05/11/2011	ISSUED FOR SIGNAGE

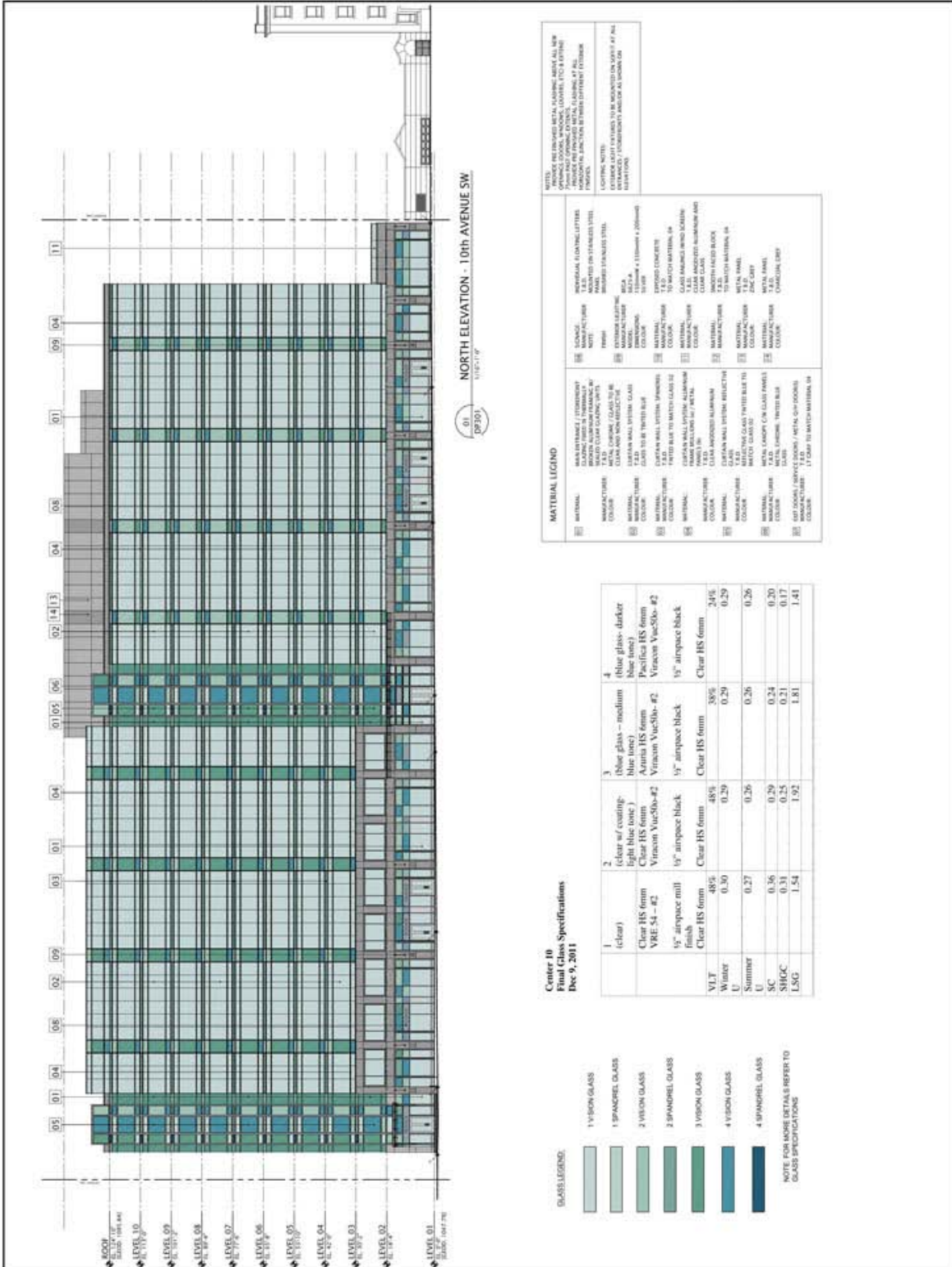
The owner has been advised that the use of the information on this drawing is limited to the project for which it was prepared. The user of this drawing is responsible for obtaining all necessary permits and for verifying the accuracy of the information on this drawing. The user of this drawing is also responsible for obtaining all necessary information regarding the project and the site conditions. The user of this drawing is also responsible for obtaining all necessary information regarding the project and the site conditions.

**centron**  
Central Specialist  
DETAIL SHEET

**NORR**  
Architects  
1100 North Main Street  
Suite 100  
Tulsa, Oklahoma 74103  
Phone: 918.438.1111  
Fax: 918.438.1112  
www.norrarchitects.com

**CENTRON**  
Group of Companies  
CENTRE 10  
515 & 517 - 10th Avenue SW  
Cappay, AB  
ELEVATIONS

Client: Centre 10  
Architect: NORR  
Contract No.: NCCA110089  
Drawing No.: DP301



**MATERIAL LEGEND**

<b>VISION GLASS</b>	1 VISION GLASS	1 VISION GLASS	1 VISION GLASS
<b>SPANREL GLASS</b>	1 SPANREL GLASS	1 SPANREL GLASS	1 SPANREL GLASS
<b>VISION GLASS</b>	2 VISION GLASS	2 VISION GLASS	2 VISION GLASS
<b>SPANREL GLASS</b>	2 SPANREL GLASS	2 SPANREL GLASS	2 SPANREL GLASS
<b>VISION GLASS</b>	3 VISION GLASS	3 VISION GLASS	3 VISION GLASS
<b>VISION GLASS</b>	4 VISION GLASS	4 VISION GLASS	4 VISION GLASS
<b>SPANREL GLASS</b>	4 SPANREL GLASS	4 SPANREL GLASS	4 SPANREL GLASS

NOTE FOR MORE DETAILS REFER TO GLASS SPECIFICATIONS

**Center 10 Final Glass Specifications Dec 9, 2011**

U	U	U	U	U
Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2
1/2" airspace mill finish	1/2" airspace black	1/2" airspace black	1/2" airspace black	1/2" airspace black
48%	48%	38%	38%	38%
0.29	0.29	0.29	0.29	0.29
0.27	0.26	0.26	0.26	0.26
0.36	0.29	0.24	0.24	0.20
0.31	0.25	0.21	0.21	0.17
1.54	1.02	1.81	1.81	1.41

**Center 10 Final Glass Specifications Dec 9, 2011**

U	U	U	U	U
Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2
1/2" airspace mill finish	1/2" airspace black	1/2" airspace black	1/2" airspace black	1/2" airspace black
48%	48%	38%	38%	38%
0.29	0.29	0.29	0.29	0.29
0.27	0.26	0.26	0.26	0.26
0.36	0.29	0.24	0.24	0.20
0.31	0.25	0.21	0.21	0.17
1.54	1.02	1.81	1.81	1.41

**MATERIAL LEGEND**

<b>VISION GLASS</b>	1 VISION GLASS	1 VISION GLASS	1 VISION GLASS
<b>SPANREL GLASS</b>	1 SPANREL GLASS	1 SPANREL GLASS	1 SPANREL GLASS
<b>VISION GLASS</b>	2 VISION GLASS	2 VISION GLASS	2 VISION GLASS
<b>SPANREL GLASS</b>	2 SPANREL GLASS	2 SPANREL GLASS	2 SPANREL GLASS
<b>VISION GLASS</b>	3 VISION GLASS	3 VISION GLASS	3 VISION GLASS
<b>VISION GLASS</b>	4 VISION GLASS	4 VISION GLASS	4 VISION GLASS
<b>SPANREL GLASS</b>	4 SPANREL GLASS	4 SPANREL GLASS	4 SPANREL GLASS

NOTE FOR MORE DETAILS REFER TO GLASS SPECIFICATIONS

**Center 10 Final Glass Specifications Dec 9, 2011**

U	U	U	U	U
Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2
1/2" airspace mill finish	1/2" airspace black	1/2" airspace black	1/2" airspace black	1/2" airspace black
48%	48%	38%	38%	38%
0.29	0.29	0.29	0.29	0.29
0.27	0.26	0.26	0.26	0.26
0.36	0.29	0.24	0.24	0.20
0.31	0.25	0.21	0.21	0.17
1.54	1.02	1.81	1.81	1.41

**MATERIAL LEGEND**

<b>VISION GLASS</b>	1 VISION GLASS	1 VISION GLASS	1 VISION GLASS
<b>SPANREL GLASS</b>	1 SPANREL GLASS	1 SPANREL GLASS	1 SPANREL GLASS
<b>VISION GLASS</b>	2 VISION GLASS	2 VISION GLASS	2 VISION GLASS
<b>SPANREL GLASS</b>	2 SPANREL GLASS	2 SPANREL GLASS	2 SPANREL GLASS
<b>VISION GLASS</b>	3 VISION GLASS	3 VISION GLASS	3 VISION GLASS
<b>VISION GLASS</b>	4 VISION GLASS	4 VISION GLASS	4 VISION GLASS
<b>SPANREL GLASS</b>	4 SPANREL GLASS	4 SPANREL GLASS	4 SPANREL GLASS

NOTE FOR MORE DETAILS REFER TO GLASS SPECIFICATIONS

**Center 10 Final Glass Specifications Dec 9, 2011**

U	U	U	U	U
Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2	Clear HS form VRE 54 - #2
1/2" airspace mill finish	1/2" airspace black	1/2" airspace black	1/2" airspace black	1/2" airspace black
48%	48%	38%	38%	38%
0.29	0.29	0.29	0.29	0.29
0.27	0.26	0.26	0.26	0.26
0.36	0.29	0.24	0.24	0.20
0.31	0.25	0.21	0.21	0.17
1.54	1.02	1.81	1.81	1.41





DATE ISSUED FOR RFP 05/11/2011  
 DATE FOR SUBMISSION 05/11/2011  
 DATE FOR RFP 05/11/2011

THE OWNER HAS BEEN ADVISED THAT THE USE OF THE INFORMATION CONTAINED HEREIN IS AT THE USER'S SOLE RISK. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY ERRORS OR OMISSIONS. THE ARCHITECT'S LIABILITY IS LIMITED TO THE DESIGN OF THE BUILDING AS SHOWN ON THESE PLANS.

**centron**  
 CENTRUM ARCHITECTS  
 1000 15th Street, Suite 1000  
 Denver, CO 80202  
 Phone: 303.733.1100  
 Fax: 303.733.1101  
 Website: www.centronarchitects.com

**NORR**  
 NORR ARCHITECTS PARTNERS  
 1500 17th Street, Suite 1000  
 Denver, CO 80202  
 Phone: 303.733.1100  
 Fax: 303.733.1101  
 Website: www.norrarchitects.com

**CENTRUM**  
 Group of Companies  
 CENTRE 10  
 515 & 517 - 10th AVENUE SW  
 CAPTAY, AR  
 ELEVATIONS

Project: CENTRE 10  
 515 & 517 - 10th AVENUE SW  
 CAPTAY, AR

Client: NCCA 110089  
 Drawing No: DP303

**EAST ELEVATION - 4th STREET SW**  
 01 02 03 04 05 06 07 08 09 10 11 12 13 14 15

**WEST ELEVATION**  
 02 03 04 05 06 07 08 09 10 11 12 13 14 15

**GLASS LEGEND:**

- 1 VISION GLASS
- 1 SPANDREL GLASS
- 2 VISION GLASS
- 2 SPANDREL GLASS
- 3 VISION GLASS
- 4 VISION GLASS
- 4 SPANDREL GLASS

NOTE FOR MORE DETAILS REFER TO GLASS SPECIFICATIONS

**MATERIAL LEGEND**

**GLASS SPECIFICATIONS**  
 Dec 9, 2011

U	Winter	Summer	SHGC	LSG
1	0.29	0.26	0.25	1.54
2	0.29	0.26	0.25	1.54
3	0.29	0.26	0.25	1.54
4	0.29	0.26	0.25	1.54





DATE	ISSUED FOR	BY
2011.08.26	ISSUED FOR SUBMISSION	
2011.10.26	REVISED FOR SUBMISSION	
2012.01.09	REVISED FOR SUBMISSION	

The CLIENT has been advised that, for the purpose of this drawing, the drawings are intended to be used for the purpose of the submission to the City of Calgary. The drawings are not intended to be used for any other purpose. The drawings are not intended to be used for any other purpose. The drawings are not intended to be used for any other purpose.

**centron**  
Group of Companies

**DETAIL SHEET #**

Client Name: **Steffen + Miller + Naylor**  
Architectural: **Steffen + Miller + Naylor**  
Structural: **Steffen + Miller + Naylor**  
Mechanical: **Steffen + Miller + Naylor**  
Electrical: **Steffen + Miller + Naylor**  
Civil: **Steffen + Miller + Naylor**

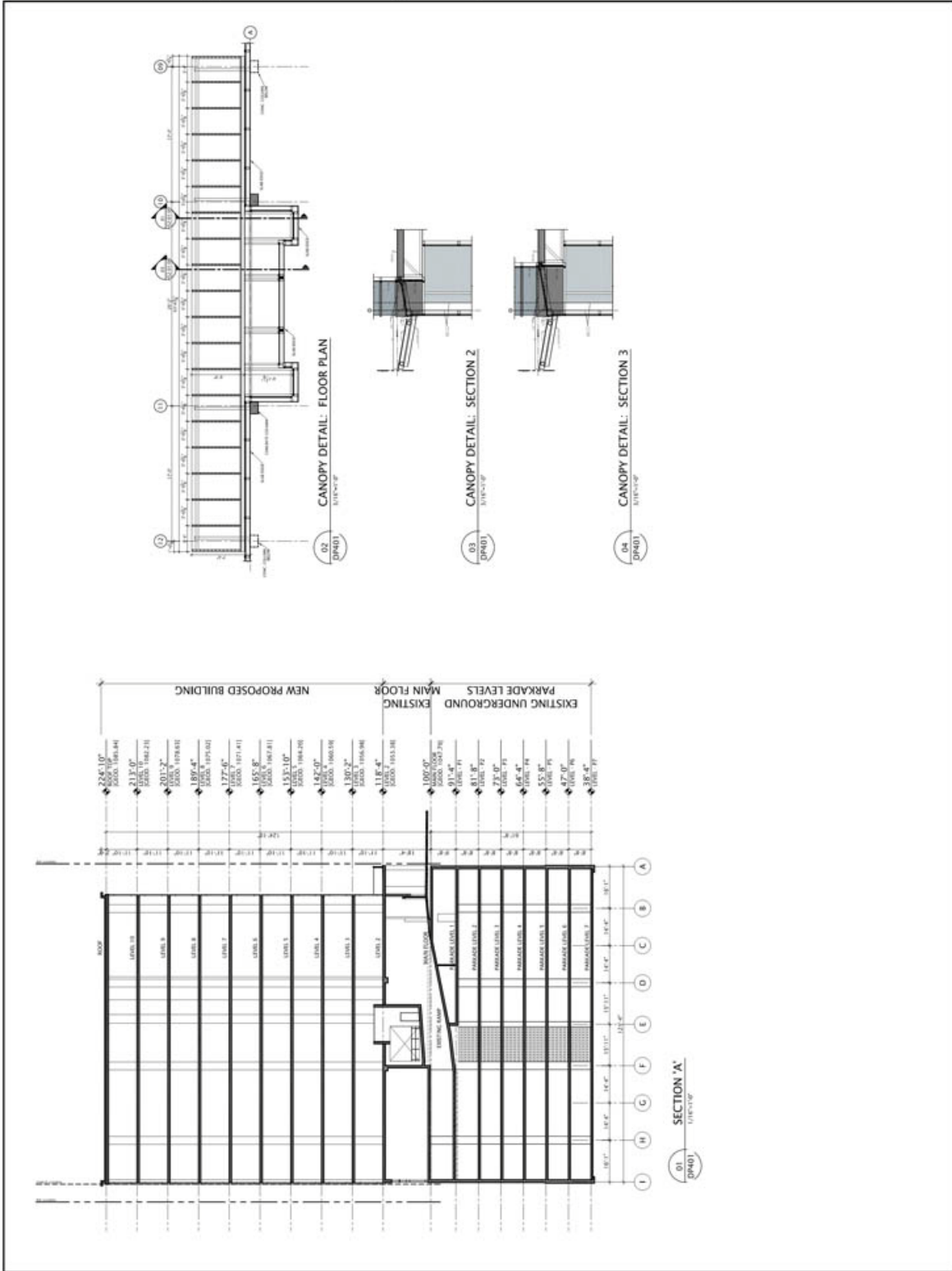
**NORR**  
ARCHITECTS INC.

**NORR Architects Planners**  
A Division of James Companies  
1000 - 10th Avenue SW  
Calgary, AB T2P 1K6  
Phone: 403.243.2000 Fax: 403.243.2015  
www.norr.ca

Project: **CENTRE 10**  
Group of Companies  
515 & 517 - 10th Avenue SW  
Calgary, AB

Sheet: **BUILDING SECTION**  
CANOPY DETAILS

Checked by: **Steffen + Miller + Naylor**  
NCCA 110089  
Drawing No: **DP401**





DATE 2011-10-24	ISSUED FOR SUBMITTAL	REV
<p>NOTE: This drawing has been prepared under the seal of the City of Calgary and does not constitute a professional engineering or architectural drawing. It is intended for use in connection with the City of Calgary's Public Works Department and is not to be used for any other purpose without the written consent of the City of Calgary. This drawing shall not be used for construction purposes other than the use specified herein or for any other project without the written consent of the City of Calgary.</p>		
<p>Project: [Blank]</p>		
<p>Scale: [Blank]</p>		
<p>Client: [Blank]</p>		
<p>Contract: [Blank]</p>		
<p>Location: [Blank]</p>		
<p>Drawn by: [Blank]</p>		
<p>Checked by: [Blank]</p>		
<p>Approved by: [Blank]</p>		
<p>Project No.: [Blank]</p>		
<p>Sheet No.: [Blank]</p>		

**SCALF + MILLER + KIRK**

**NORR Architects Planners**  
 Suite 108 - 221 - 10th Avenue SW  
 Calgary, Alberta T2C 1K9  
 Phone: (403) 243-1111  
 Fax: (403) 243-1112  
 www.norr.ca  
 NORR is a registered professional firm under the Professional Engineers Act of Alberta and the Professional Architects Act of Alberta.

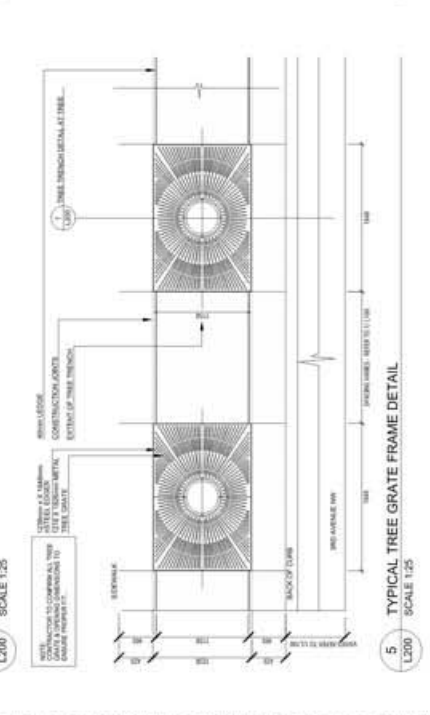
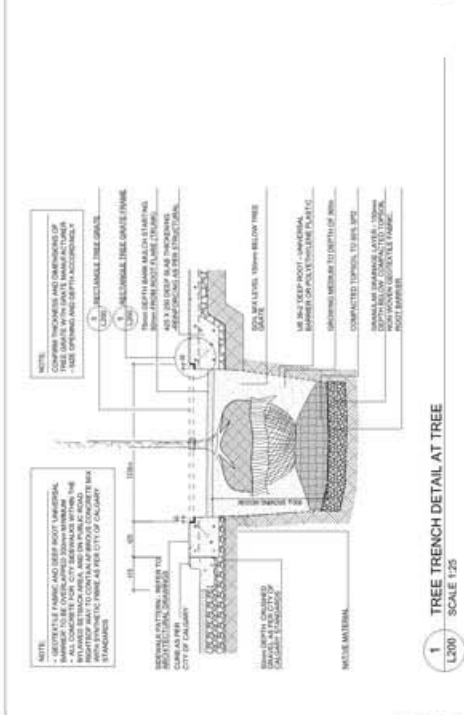
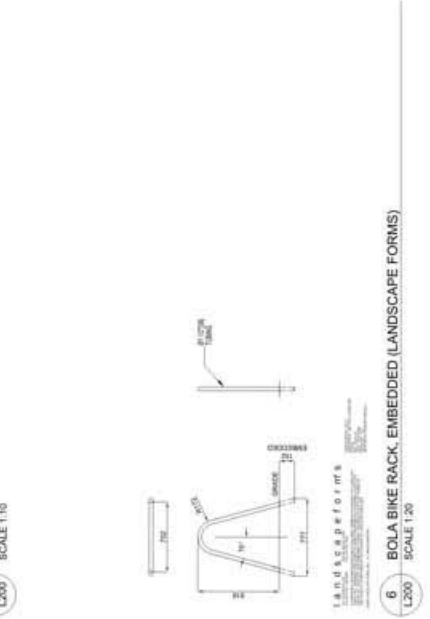
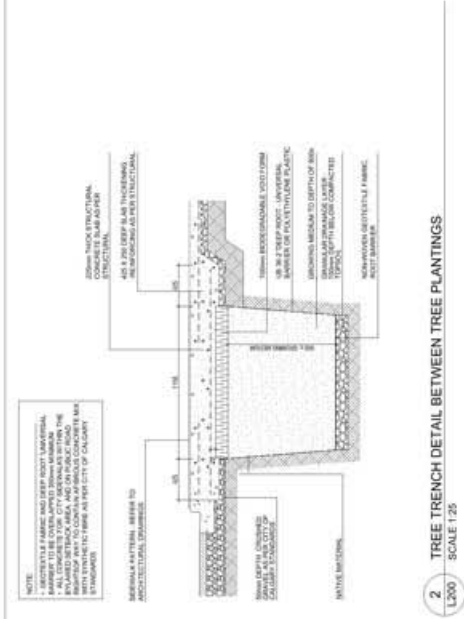
**NORR**

**CENTRON**  
Group of Companies

**CENTRE 10**  
315 & 517 - 10th Avenue SW  
Calgary, AB

**LANDSCAPE DETAILS**

Client: [Blank]  
 Project No.: [Blank]  
 Sheet No.: [Blank]  
 Drawing No.: [Blank]



DATE	ISSUED FOR	REV
2011 09 26	REQUEST FOR CONSTRUCTION	-

This drawing has been prepared solely for the use of the CLIENT and does not constitute an offer of any services or products. NORR Architects Planners Ltd has prepared this drawing and shall not be held responsible for any errors or omissions. The client is responsible for ensuring that the drawing is used for the intended purpose and that all necessary permits are obtained from the appropriate authorities.

Project Name: 10th Avenue SW  
 Detail #  
 Detail #

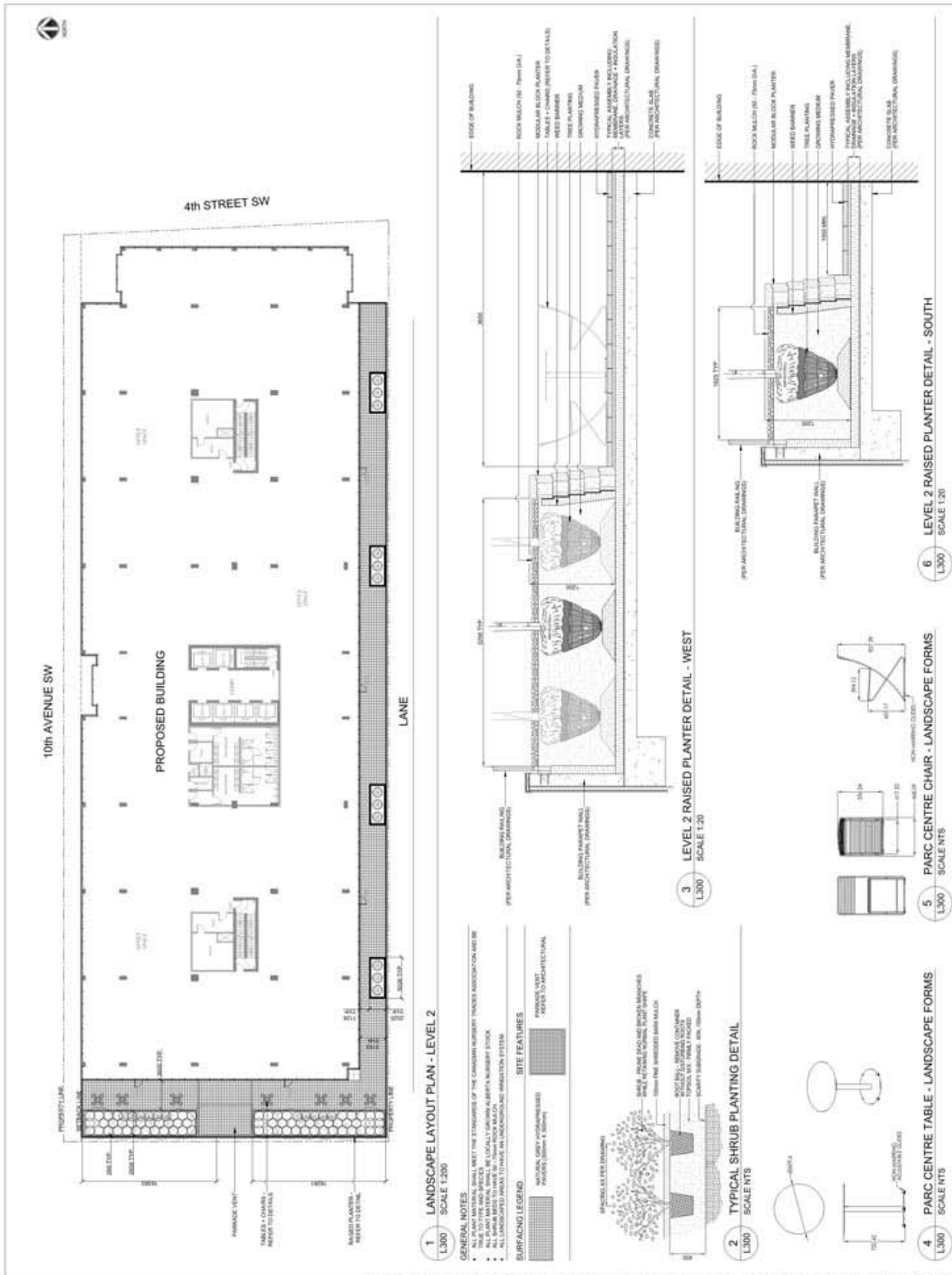
Client: NORR Architects Planners Ltd  
 5115 & 517 - 10th Avenue SW  
 Calgary, AB  
 T2C 1K5  
 Tel: 403.275.7711  
 Fax: 403.275.7712  
 www.norr.ca

**NORR**  
 NORR Architects Planners Ltd  
 5115 & 517 - 10th Avenue SW  
 Calgary, AB  
 T2C 1K5  
 Tel: 403.275.7711  
 Fax: 403.275.7712  
 www.norr.ca

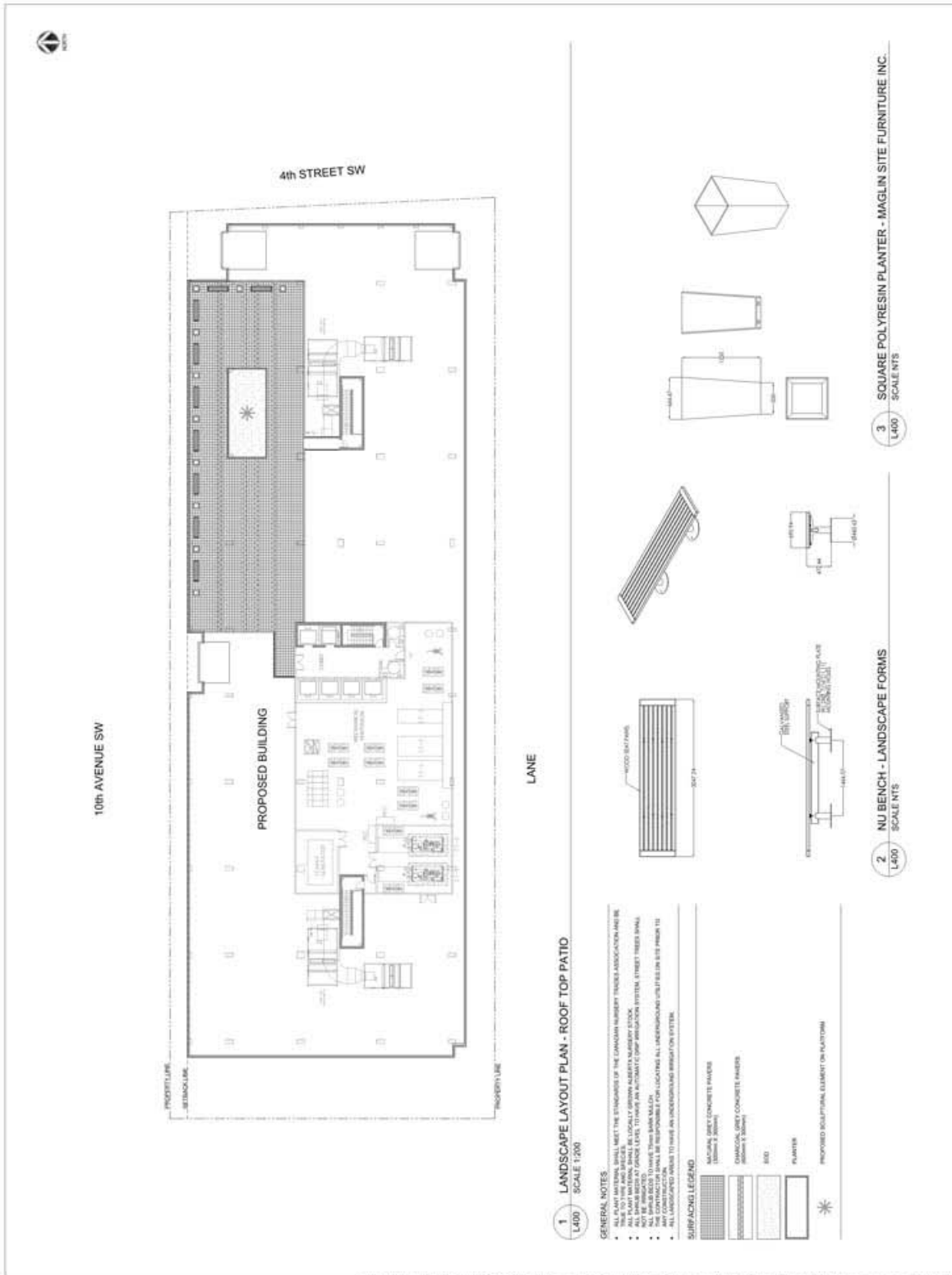
Project Manager: AS SUDHRA  
 Project Leader: AS SUDHRA  
 Group of Companies: CENTRE 10  
 5115 & 517 - 10th Avenue SW  
 Calgary, AB  
 T2C 1K5

LANDSCAPE LAYOUT  
 Level 2 - Section Floor

Drawn by: MCCA110089  
 Checked by: AS SUDHRA  
 Drawing No: MCCA110089  
 Drawing Size: L300

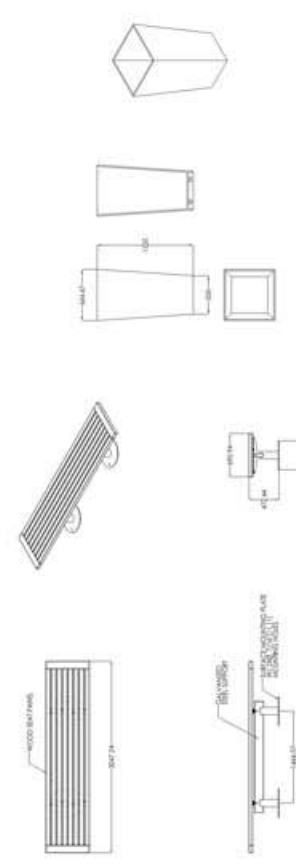


DATE 2011.02.02 (P.04/06/06)	DESIGNED FOR -	REV -
<p>This drawing has been prepared solely for the use of the CLIENT and does not constitute a contract. It is the responsibility of the CLIENT to ensure that the information contained herein is accurate and that all necessary permits and approvals are obtained. The CONTRACTOR shall be responsible for locating all underground utility lines in SITE PRIOR TO CONSTRUCTION. ALL LANDSCAPING SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITY LINES IN SITE PRIOR TO CONSTRUCTION.</p>		
<p>CONTRACTOR: NORR ARCHITECTS PLANNERS 115 &amp; 517 - 10th Avenue SW Calgary, AB T2P 1K6 www.norr.ca 403.270.7111</p>		
<p>CLIENT: CENTRON Group of Companies 315 &amp; 517 - 10th Avenue SW Calgary, AB</p>		
<p>PROJECT NO.: MCCAT10089 DRAWING NO.: L400</p>		



**1** LANDSCAPE LAYOUT PLAN - ROOF TOP PATIO  
L400 SCALE 1:400

- GENERAL NOTES**
- ALL MATERIALS SHALL MEET THE REQUIREMENTS OF THE CANADIAN NURSERY TRADE ASSOCIATION (CNTRA).
  - ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE CANADIAN NURSERY TRADE ASSOCIATION (CNTRA) STANDARDS.
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**2** NU BENCH - LANDSCAPE FORMS  
L400 SCALE 1:400

**3** SQUARE POLYRESIN PLANTER - MAGLIN SITE FURNITURE INC.  
L400 SCALE 1:400

DATE: 2011.02.02 (P.04/06/06) | CLIENT: CENTRON GROUP OF COMPANIES | PROJECT NO.: MCCAT10089 | DRAWING NO.: L400



**ITEM NO. 01**

Joseph Yun

**COMMUNITY:****BELTLINE****FILE NUMBER:**

DP2011-3321

**MUNICIPAL ADDRESS:**

517 10 Avenue SW

**APPLICANT:**

NORR Architects &amp; Planners

**DESCRIPTION:**

New: Office Building

**Comments Provided by the Panel:**

- The panel acknowledges and supports the Applicant's aspiration for a light and lacy, contemporary aesthetic as illustrated in the precedent images. The panel is not convinced that the aspiration for visual lightness and transparency has been achieved.
- The bird friendly guidelines should be acknowledged in the design solution. The panel feels that the current proposal for glass colour and reflectivity do not support the aspirations of the guideline.
- The panel recommends that the required bicycle racks be removed from the face of the building and moved to the tree alignment.
- The panel has concerns regarding the detailed resolution of the corner on 4 Street and 10 Avenue. For example the plan configuration of the stairs could be improved and the depth of the stair treads could be increased. The panel recognizes that there are some costs associated with reconfiguring the existing condition and feels that this would be very valuable to the success of the urban realm.
- In keeping with the Applicants aspiration for a light and contemporary aesthetic the panel encourages the Applicant to greatly simplify the expression and articulation of the base. This includes a more detailed resolution of the main entry on 10 Avenue.
- The panel recommends that the Applicant consider design solutions that provide a greater level of transparency and building access on the southeast corner. This could include relocating the parkade intake air louver further to the west.



Box 97, 1500 14 ST SW  
Calgary, AB  
T3C 1C9  
(403) 670-5499 ext. 3

January 17, 2012

Joseph Yun  
Centre City Planning & Design  
City of Calgary Municipal Building  
800 MacLeod Trail SE  
Calgary, Alberta T2G 2M3

RE: DP2011-3321, New: Office, Retail and Consumer Service

Dear Joseph,

Beltline Planning Group has reviewed this application and is strongly in support of this proposed development.

We feel that the scale of the proposed application fits well with the surrounding part of the Beltline. It adds vibrancy to an area that has traditionally been neglected. The project provides a strong alternative and viable solution to the difficulties encountered by the former residential project proposed for this site. Beltline residents will be pleased with a completed project at this location.

We look forward to an expedient approval of this proposed development.

Sincerely,

Owen Craig, Chair  
Beltline Planning Group  
[planning@beltline.ca](mailto:planning@beltline.ca)  
403 670 5499 ext 3

cc: Richard Goecke ([richard.goecke@calgary.ca](mailto:richard.goecke@calgary.ca))  
Development Circulations Controller ([dp.circ@calgary.ca](mailto:dp.circ@calgary.ca))

Yes ? No

0 7 0

**Materials & Resources**

13 Points

✓		Prereq 1	<b>Storage and Collection of Recyclables</b>	Required
✓	4	Credit 1	<b>Building Reuse: Maintain Existing Walls, Floors, and Roof</b>	1 - 5
✓	2	Credit 2	<b>Construction Waste Management</b>	1 - 2
	0	Credit 3	<b>Materials Reuse</b>	1
	0	Credit 4	<b>Recycled Content</b>	1 - 2
✓	1	Credit 5	<b>Regional Materials</b>	1 - 2
	0	Credit 6	<b>Certified Wood</b>	1

Yes ? No

0 10 0

**Indoor Environmental Quality**

12 Points

✓		Prereq 1	<b>Minimum Indoor Air Quality Performance</b>	Required
✓		Prereq 2	<b>Environmental Tobacco Smoke (ETS) Control</b>	Required
✓	1	Credit 1	<b>Outdoor Air Delivery Monitoring</b>	1
✓	1	Credit 2	<b>Increased Ventilation</b>	1
✓	1	Credit 3	<b>Construction IAQ Management Plan: During Construction</b>	1
✓	1	Credit 4.1	<b>Low-Emitting Materials: Adhesives and Sealants</b>	1
✓	1	Credit 4.2	<b>Low-Emitting Materials: Paints and Coatings</b>	1
✓	1	Credit 4.3	<b>Low-Emitting Materials: Flooring Systems</b>	1
	0	Credit 4.4	<b>Low-Emitting Materials: Composite Wood and Agrifibre Products</b>	1
	0	Credit 5	<b>Indoor Chemical and Pollutant Source Control</b>	1
✓	1	Credit 6	<b>Controllability of System: Thermal Comfort</b>	1
✓	1	Credit 7	<b>Thermal Comfort: Design</b>	1
✓	1	Credit 8.1	<b>Daylight and Views: Daylight</b>	1
✓	1	Credit 8.2	<b>Daylight and Views: Views</b>	1

Yes ? No

0 0 0

**Innovation in Design**

6 Points

	0	✓	Credit 1.1	<b>Innovation in Design</b>	1
	0	✓	Credit 1.2	<b>Innovation in Design</b>	1
	0	✓	Credit 1.3	<b>Innovation in Design</b>	1
	0	✓	Credit 1.4	<b>Innovation in Design</b>	1
	0	✓	Credit 1.5	<b>Innovation in Design</b>	1
	0	✓	Credit 2	<b>LEED® Accredited Professional</b>	1

Yes ? No

0 0 0

**Regional Priority**

4 Points

	0	✓	Credit 1	<b>Durable Building</b>	1
	0	✓	Credit 2.1	<b>Regional Priority Credit</b>	1
	0	✓	Credit 2.2	<b>Regional Priority Credit</b>	1
	0	✓	Credit 2.3	<b>Regional Priority Credit</b>	1

## LEED Canada-CS 2009 Project Checklist

Project Name *CENTRE 10*

Yes ? No

0	58	0	<b>Project Totals (pre-certification estimates)</b>	110 Possible Points
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Certified 40-49 points Silver 50-59 points Gold 60-79 points Platinum 80 points and above

Yes ? No

0	14	0	<b>Sustainable Sites</b>	28 Points
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✓			Prereq 1	<b>Construction Activity Pollution Prevention</b>	Required
✓	1		Credit 1	<b>Site Selection</b>	1
✓	5		Credit 2	<b>Development Density and Community Connectivity</b>	3, 5
✓	1		Credit 3	<b>Brownfield Redevelopment</b>	1
✓	3		Credit 4.1	<b>Alternative Transportation: Public Transportation Access</b>	3, 6
✓	1		Credit 4.2	<b>Alternative Transportation: Bicycle Storage &amp; Changing Rooms</b>	2
	0	✓	Credit 4.3	<b>Alternative Transportation: Low-Emitting &amp; Fuel-Efficient Vehicles</b>	3
	0	✓	Credit 4.4	<b>Alternative Transportation: Parking Capacity</b>	2
✓	1		Credit 5.1	<b>Site Development: Protect and Restore habitat</b>	1
	0	✓	Credit 5.2	<b>Site Development: Maximize Open Space</b>	1
	0	✓	Credit 6.1	<b>Stormwater Design: Quantity Control</b>	1
	0	✓	Credit 6.2	<b>Stormwater Design: Quality Control</b>	1
	0	✓	Credit 7.1	<b>Heat Island Effect: Non-Roof</b>	1
✓	1		Credit 7.2	<b>Heat Island Effect: Roof</b>	1
✓	1		Credit 8	<b>Light Pollution Reduction</b>	1
	0	✓	Credit 9	<b>Tenant Design and Construction Guidelines</b>	1

Yes ? No

0	4	0	<b>Water Efficiency</b>	10 Points
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✓			Prereq 1	<b>Water Use Reduction</b>	Required
✓	2		Credit 1	<b>Water Efficient Landscaping</b>	2, 4
	0	✓	Credit 2	<b>Innovative Wastewater Technologies</b>	2
✓	2		Credit 3	<b>Water Use Reduction</b>	2 - 4

Yes ? No

0	23	0	<b>Energy &amp; Atmosphere</b>	37 Points
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✓			Prereq 1	<b>Fundamental Commissioning of Building Energy Systems</b>	Required
✓			Prereq 2	<b>Minimum Energy Performance</b>	Required
✓			Prereq 3	<b>Fundamental Refrigerant Management</b>	Required
✓	17		Credit 1	<b>Optimize Energy Performance</b>	3 - 21
	0	✓	Credit 2	<b>On-Site Renewable Energy</b>	2, 4
	0	✓	Credit 3	<b>Enhanced Commissioning</b>	2
✓	2		Credit 4	<b>Enhanced Refrigerant Management</b>	2
✓	3		Credit 5.1	<b>Measurement and Verification: Base Building</b>	3
✓	1		Credit 5.2	<b>Measurement and Verification: Tenant Submetering</b>	3
	0	✓	Credit 6	<b>Green Power</b>	2

## APPLICANT'S SUBMISSION

This Development Permit application is for the renewal of a former condominium project that fell into receivership in 2008. The Centron Group of companies creatively envisioned a low rise commercial development in place of the former project. To a certain degree structural limitations of existing foundations dictate the overall building form. Functionally speaking the development will provide approximately 35,000m<sup>2</sup> of new office space in a large floor plate format with accompanying pedestrian oriented retail at grade. The large floor plate format provides a welcome option for specific tenancies in the downtown core. The 744 stall underground parking will be utilized in part for the development and in part for short term parking.

Centre 10 is designed in the true neo-modern international style aesthetic. Simple expression of volume rather than mass, the emphasis on balance rather than preconceived symmetry, and the expulsion of applied ornament are the basis for the design concept. This neo-modern aesthetic is layered with multiple glass and spandrel colours and the texture of window mullion detailing. The super-grid of mullions breaks the overall building volume. This is combined with a playful variety of glass colours for visual interest. Overall colours are blue green and soft green with anodized aluminum frames. Additional accent colour may be added through specific tenant requirements in select locations (red would be nice!). The roof top terrace will create a wonderful tenant amenity and breaks the symmetry in the building volume.

The result is a light and lacy building volume with a varied, playful façade. The building base will repeat this overall aesthetic with an emphasis on transparency for pedestrian interaction. Retail tenants at grade will provide street presence. A metallic base frame element creates scale to the street and rises to the second storey at the important NE corner.

The overall development is being designed to a LEED Silver standard. Please see our response to the UDRP commentary regarding Bird Friendly design guidelines and other specific details.